

ITEM RES 2014-6002

VILLAGE OF DOWNERS GROVE
Report for the Village Council Meeting
2/17/2015

SUBJECT:	SUBMITTED BY:
License Agreement with Verizon Wireless to Install, Maintain and Operate Antenna on Village Property	Enza Petrarca Village Attorney

SYNOPSIS

A resolution has been prepared authorizing approval of a License Agreement with Chicago SMSA Limited Partnership d/b/a Verizon Wireless to install, maintain and operate an antenna on Village Property at 4414 Downers Drive.

STRATEGIC PLAN ALIGNMENT

The goals for 2011-2018 include *Steward of Financial and Environmental Sustainability*.

FISCAL IMPACT

Approval of the proposed agreement would result in the Village collecting \$4,000.00 in monthly license fees with a 4% increase each year thereafter.

RECOMMENDATION

Approval on the February 17, 2015 consent agenda.

BACKGROUND

Chicago SMSA Limited Partnership d/b/a Verizon Wireless is a provider of digital communications in the Chicagoland area. Verizon contacted the Village concerning its desire to install an antenna on the Village's water tower located on Downers Drive. Associated equipment cabinets will be placed on the property as well. The license agreement is only for the installation of antenna on existing Village Council approved sites, and will not extend the height of the tower. As such, no special use approval is required pursuant to the Zoning Ordinance.

The proposed license agreement would commence March 1, 2015. Approval of the proposed agreement would result in the Village collecting \$4,000.00 in monthly license fees, with a four percent increase in each year thereafter. The contract shall run for three 5-five year terms ending on December 31, 2030.

ATTACHMENTS

Resolution
Agreement

RESOLUTION NO. _____

**A RESOLUTION AUTHORIZING EXECUTION OF A LICENSE AGREEMENT
BETWEEN THE VILLAGE OF DOWNERS GROVE AND
CHICAGO SMSA LIMITED PARTNERSHIP D/B/A VERIZON WIRELESS
TO INSTALL, MAINTAIN AND OPERATE ANTENNA EQUIPMENT
ON VILLAGE PROPERTY LOCATED AT 4414 DOWNERS DRIVE**

BE IT RESOLVED by the Village Council of the Village of Downers Grove, DuPage County, Illinois as follows:

1. That the form and substance of a certain License Agreement (“Agreement”), between the Village of Downers Grove (“Village”) and Chicago SMSA Limited Partnership d/b/a Verizon Wireless (“Licensee”) for the maintenance and operation of antenna equipment on Village property located at 4414 Downers Drive, Downers Grove, IL, as set forth in the Agreement submitted to this meeting with the recommendation of the Village Manager, is hereby approved.

2. That the Village Manager and Village Clerk are hereby respectively authorized and directed for and on behalf of the Village to execute, attest, seal and deliver the Agreement, substantially in the form approved in the foregoing paragraph of this Resolution, together with such changes as the Manager shall deem necessary.

3. That the proper officials, agents and employees of the Village are hereby authorized and directed to take such further action as they may deem necessary or appropriate to perform all obligations and commitments of the Village in accordance with the provisions of the Agreement.

4. That all resolutions or parts of resolutions in conflict with the provision of this Resolution are hereby repealed.

5. That this Resolution shall be in full force and effect from and after its passage as provided by law.

Mayor

Passed:

Attest: _____
Village Clerk

Site: 4414 Downers Drive

**LICENSE AGREEMENT BETWEEN THE VILLAGE OF DOWNERS
GROVE AND CHICAGO SMSA LIMITED PARTNERSHIP D/B/A
VERIZON WIRELESS TO INSTALL,
MAINTAIN AND OPERATE ANTENNA EQUIPMENT ON VILLAGE PROPERTY**

WITNESSETH

WHEREAS, the Village of Downers Grove (hereinafter referred to as the "Village") is an Illinois municipal corporation and a home rule unit, pursuant to the laws of the State of Illinois; and

WHEREAS, the Village is the owner and lessor of certain real estate located at 4414 Downers Drive, Downers Grove, Illinois, upon which is located a Village Water Tower (hereinafter referred to as the "Tower"); and

WHEREAS, Chicago SMSA Limited Partnership d/b/a Verizon Wireless (hereinafter referred to as the "Licensee") has requested permission to install communications antenna (hereinafter referred to as the "Antenna") on the top of the Tower (the "Tower Space") and certain related equipment on the ground (the "Ground Space"); and

NOW, THEREFORE, in consideration of the mutual promises, covenants and conditions, the Village and the Licensee agree as follows:

1. **CONTRACT DOCUMENTS:** The provisions set forth in the preamble and the following exhibits are incorporated into and made a part of this Agreement:

- a. Exhibit 1 - Site map(s) of the Property (or upgrades thereto), as amended from time to time and approved by the Village, showing the Tower Space and the Ground Space, together with the areas on the Property licensed to Licensee to provide access and utility service to the Ground Space (collectively the "Licensed Premises") which includes location of any proposed underground utilities necessary for operation of the Antenna.
- b. Exhibit 2 - Plans and specifications (or upgrades thereto), as amended from time to time and approved by the Village, for the Antenna and any cables or utility lines installed on the Licensed Premises and the equipment cabinets to be installed on the Licensed Premises and used for housing of the related Antenna equipment (collectively the "Licensee Improvements.")

2. **GRANT OF LICENSE:** The Village hereby grants to the Licensee the right, permission and authority to install, operate and maintain Licensee's Improvements upon the terms and conditions hereinafter specified. This Agreement shall not terminate upon the sale, assignment or transfer of the Property, but shall run with the land. In the event that the Tower is removed, this contract shall cease and neither the Village nor the Licensee will be responsible or liable for replacement or rent.

Site: 4414 Downers Drive

3. **SPECIFICATIONS:** The Licensee shall comply with the following specifications:
- a. *In general:* During the term of this Agreement, there shall be no substantial variations, modifications, or upgrades from the plans and specifications contained in Exhibits 1 and 2 without the prior written approval of the Village, which approval shall not be unreasonably withheld or delayed. Notwithstanding the foregoing, Licensee may perform maintenance, repair or replace any equipment contained within Licensee's ground equipment cabinet without Village's consent, provided that the Village is provided notice.
 - b. *Antenna:* The Antenna shall be installed, attached to the Tower, and maintained in conformance with Exhibits 1 and 2 and any applicable State and federal requirements. The Antenna shall be located more than ten (10) feet from any existing antenna equipment and shall not exceed seventy-two (72) inches in height.
4. **CONSTRUCTION, INSTALLATION AND MAINTENANCE:** The Licensee may install, repair, maintain, or replace the Antenna, subject to the following conditions:
- a. Licensee shall obtain all required permits and authorizations from the Village, in accordance with the applicable ordinances, prior to commencing any work under this Agreement. Such work shall comply with applicable codes and regulations and shall be conducted in a workmanlike manner.
 - b. Licensee shall obtain all necessary approvals from any regulatory authorities for the operation of the Antenna. Further, the Licensee shall comply with all applicable laws and regulations of such regulatory authorities including, but not limited to the Federal Communications Commission.
 - c. All costs connected with the installation, maintenance, repair, use and removal of Licensee's Improvements and any related equipment shall be the responsibility of the Licensee.
 - d. Licensee shall not take any action or allow any action to be done which may impair the use of or damage the Tower.
 - e. The Licensee may not interfere with the use by the Village, its officers, agents and employees, of the Tower or the Property on which it is located.
 - f. Except for emergency situations, the Village shall provide reasonable advance notice to Licensee when it conducts any Tower repair or maintenance work that affects the Antenna or function of the Antenna. Except for emergency situations, the Village shall not physically disturb Licensee's equipment without Licensee's permission. Licensee shall provide the Village reasonable advance notice when access to the equipment on the Ground Space near the Tower or the antenna on top of the Tower is needed. Access to the Tower and Ground Space can be obtained Monday through Friday between the hours of 8:00 a.m.

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to 4:00 p.m. CST by contacting the Village Building Services Department at 630/434-5551 (801 Burlington Tower) or the Public Works Department at 630/434-5460 (for all other Towers). If access is required after business hours, on weekends, on a holiday or in the event of an emergency, Licensee shall contact the Village Operations Center at 630/434-5706 or 630/434-5707.

g. The Licensee shall maintain Licensee's Improvements in good repair, and in a clean and sightly condition.

h. Upon termination of this Agreement by either party, the Licensee shall, within sixty (60) days and at its expense, remove the Licensee Improvements and restore the Licensed Premises to substantially its original condition, reasonable wear and tear excepted.

i. If Licensee abandons its use of Licensee's Improvements, Licensee shall, within thirty (30) days of receipt of written notice from the Village notifying the Licensee of such abandonment and at its expense, remove the Licensee's Improvements and restore the Tower to substantially its original condition. Licensee's Improvements will be presumed abandoned if it is not operated for a period of one month or more. If Licensee's Improvements are not removed within thirty (30) days, the Village may remove Licensee's Improvements and the Licensee shall reimburse the Village for the costs of such removal.

5. **NON-INTERFERENCE WITH VILLAGE OPERATIONS:** Neither this Agreement nor Licensee's Improvements shall interfere or obstruct the functioning of the Village's operations and services. Licensee warrants that Licensee's Improvements shall be constructed, installed, maintained and operated in such a manner as to not interfere or obstruct any radio or electronic equipment or signals of the Village's radio and data systems. In the event such interference occurs, and the interference cannot be eliminated by Licensee within thirty (30) days after receipt of notice of interference from Village, then Licensee agrees to power down its equipment (except for intermittent testing during off-peak hours) and investigate and attempt to resolve the technical issues of the operation of its equipment that are impacting the Village operations and services. The Licensee shall continue to pay Rent during any period in which it is investigating or attempting to resolve any technical issues with regard to the operation of its equipment. If Licensee cannot resolve the technical issues and interference with respect to the operation of its equipment and impact on the Village equipment within sixty (60) days after the initial receipt of notice of interference from Village, then Licensee shall either remove the offending equipment or terminate this Agreement upon notice to Village.

Provided after notice to Licensee, the Village may immediately terminate this Agreement, or require that operation of the Antenna or any of Licensee's Improvements be immediately ceased where it determines that the Antenna or Licensee's Improvements present an immediate and serious danger to the public health, welfare or safety due to interference with the operation of the Village's radio and data systems.

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6. **TERM:**

a. This Agreement shall have an Initial Term beginning upon the first (1st) day of March, 2015 (the "Commencement Date"). In the event that the Commencement Date is a date that does not fall on January 1st (an "In Year Commencement Date"), and in order to establish an annual term commensurate with a calendar year, then the initial term would commence on the In Year Commencement Date and end on December 31st of the same year. Thereafter, as part and parcel of the Initial Term, four additional one (1) year periods shall automatically commence each January 1st and extend through December 31st of the same year. Thereafter, the term shall be automatically extended for one (1) five-year extension term ("First Extension") unless Licensee provides Village with written notice of its election not to renew the License at least one hundred twenty (120) days prior to the expiration of the Initial Term. Upon expiration of the First Extension, this Agreement shall be extended for one (1) additional five-year extension ("Second Extension") unless either party provides the other with written notice of its election not to renew the Agreement at least one hundred twenty (120) days prior to the expiration of the then current term.

b. Upon thirty (30) days after commencement of the Second Extension, Licensee may request the Village to enter into negotiations towards renewing or extending this Agreement. Any renewal or extension shall be according to terms that are mutually agreeable and the Village shall not be bound to accept any particular terms or to renew any or all of the rights granted by this Agreement.

7. **COMPENSATION:**

Beginning on the Commencement Date, Licensee shall pay to the Village a license fee of \$4,000.00 per month. **Thereafter, effective on the first day of January in each subsequent year during the term of the Agreement, the monthly license fee shall increase in an amount equal to the fee for the preceding year multiplied by 4%.** The monthly fee shall be paid to the Village of Downers Grove, Village Hall, 801 Burlington Avenue, Downers Grove, IL 60515 each month by the 10th of the month. It is understood that the first payment of the monthly license fee may not actually be sent by Licensee until thirty (30) days after the Commencement Date.

The Village agrees to provide Licensee with IRS Form W-9.

8. **TERMINATION:** This Agreement may be terminated as follows:

a. Licensee may terminate this Agreement at any time upon sixty (60) days written notice to the Village without further liability if Licensee does not obtain all permits or other approvals required from any governmental authority or any easements required from any third party to operate the communications system, or if any such approval is canceled, expires or is withdrawn or terminated, or if the Village fails to have proper

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from any third party to operate the communications system, or if any such approval is canceled, expires or is withdrawn or terminated, or if the Village fails to have proper ownership of the site or authority to enter into this Agreement, or if Licensee, for any other reason, in its sole discretion, determines that it will be unable to use the Property, however, if Licensee terminates this Agreement without cause, it shall pay the Village a termination penalty equal to three months of the current rental amount.

b. In the event either party fails to comply with the terms of this Agreement such party shall be considered in default and the non-defaulting party may serve written notice of its intent to terminate this Agreement. Except where the public health or safety is threatened, the notice shall give the defaulting party not less than thirty (30) days to correct such non-compliance. In the event the default is not corrected within thirty (30) days of such notice, the non-defaulting party may terminate this Agreement by serving a written notice of termination. Notwithstanding the preceding, if any default cannot be cured within thirty (30) days and the defaulting party has diligently commenced and continues to take reasonable action necessary to cure the default, the defaulting party shall be entitled to a reasonable extended period of time in order to cure the default.

c. In the event the Tower is destroyed or substantially damaged so as to substantially effect Licensee's use of the Property, this Agreement shall be considered terminated.

9. **TOWER REPAIR/MAINTENANCE:** Upon receiving ninety (90) days notice from the Village that it intends to repair or perform maintenance to the Tower, Licensee shall, at its own expense and in such manner as the Village shall reasonably request, immediately remove, relocate, change or alter the position of Licensee's Improvements. During the term of this Agreement, the Tower may be refurbished and/or painted as part of the Village's repair and maintenance duties. Refurbishment and/or painting will take several months to complete (approximately five to eight months). Prior to beginning refurbishment and/or painting, Licensee understands that its Antenna shall be removed from the Tower upon notice from the Village and that the Antenna shall not be reinstalled until the refurbishment and/or painting is completed and the Village has approved such reinstallation, which approval shall not be unreasonably withheld, conditioned or delayed. During such period, Licensee may, at its sole cost and expense, install the Antenna on a temporary telephone pole or bring a cell on wheels outside the shrouded area of the tower in a location approved by the Village. However, such temporary arrangement shall not interfere with the refurbishment and/or painting of the tower or with other Village operations on the site. The Village shall not be responsible for any costs of removal, relocation, and reinstallation of the Antenna as a result of the refurbishment and/or painting.

10. **RESTORATION:** When the Licensee does any work on or affecting the Licensed Premises, it shall, at its own expense, restore the Licensed Premises to as good a condition as existed before the work was undertaken, unless otherwise directed by the Village. If the Licensee fails to restore the Licensed Premises, the Village may, after communications with the Licensee and after affording the Licensee a reasonable opportunity to correct the situation, restore the

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Licensed Premises, or remove the obstruction therefrom. No such prior written notice shall be required in the event that the Village determines that an emergency situation exists. The Licensee shall pay the Village for any reasonable costs of such restoration within thirty (30) days after receiving a bill from the Village for such work.

11. UTILITIES: Licensee shall be responsible for obtaining adequate utilities for operation of Licensee's Improvements, including electricity from any source available on the Property as along as the electricity for Licensee's Improvements are separately metered. Any utilities to be installed must be underground and at a location approved by the Village. Licensee shall pay for the electricity or any other utility it consumes in its operations at the rate charged by the servicing utility company and the Village shall not be liable for such charges.

12. TAXES: Licensee is solely responsible for payment of taxes on the leasehold PIN on the Property (PIN# 09-06-307-011). Licensee is solely responsible to determine the taxes owed and to comply with the DuPage County payment procedures. Licensee shall reimburse the Village for any personal or real property taxes which are assessed as a result of Licensee's Improvements and directly attributable to its use of the Property under the terms of this Agreement. Licensee shall have the right, at its own expense and without expense to the Village, to contest by appropriate proceedings, conducted with due diligence and in good faith, the validity of the amount of taxes or reassessment as applicable to the Licensed Premises or the Licensee Improvements. In the event that the Village becomes aware of any tax delinquency and that delinquency is not cured by the Licensee within thirty (30) days from the date the Village sends written notice, the Village shall have the right to remove any of Licensee's equipment and terminate this Agreement.

13. INDEMNIFICATION: Licensee shall indemnify, become responsible for and hold harmless the Village, its boards, committees, commissions, officers, agents and employees from any and all liability arising out of the existence of this Agreement; the installation, existence, maintenance or repair of Licensee's Improvements; or any act or omission of Licensee, its officers, agents and employees, except for liability which arises from the Village's or its employees' or agents' negligence or intentional misconduct.

For purposes of this Agreement, the term "liability" includes, but is not limited to: actual or claimed loss or damage to property or injury to or death of persons; actual or claimed responsibility for such loss, damage, injury or death; and any and all judgments, decrees, costs and expenses of every sort and kind of incident to such loss, damage, injury, death or responsibility, including, but not limited to, court costs, fines and attorney's fees. Notwithstanding the foregoing, neither Party shall be liable to the other, or any of their respective agents, representatives, employees for any lost revenue, lost profits, loss of technology, rights or services, incidental, punitive, indirect, special or consequential damages, loss of data, or interruption or loss of use of service, even if advised of the possibility of such damages, whether under theory of contract, tort (including negligence), strict liability or otherwise.

14. INSURANCE: At all times while this Agreement remains in effect, and in recognition of the indemnification provided in the foregoing Paragraph 13, the Licensee shall, at its own cost

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and expense, maintain a program of third party liability insurance and/or self-insurance to protect the Village, its officers, employees and agents from any liability for bodily injury, death, and property damage occasioned by the activities of the Licensee under this Agreement.

a. During the Term of the Agreement. Licensee shall procure, pay for and maintain in full force and effect during the entire term of the agreement (i) worker's compensation insurance as required by law and which insures Village against worker's compensation claims arising out of Licensee's activities on the Tower; (ii) fire and casualty insurance covering Licensee's Improvements in an amount not less than one hundred percent (100%) of their actual replacement cost; and (iii) commercial general liability insurance, including third party property damage insurance for bodily injuries and property damage. Such General Liability Insurance shall include coverage for the premises, operations, underground, collapse, explosion, products and the loss of use, and shall name as Additional Insureds the Village, and its officers, boards, commissions, elected and appointed officials, agents and employees. Such insurance shall be in the amount of One Million Dollars (\$1,000,000.00) per occurrence and Two Million Dollars (\$2,000,000.00) in the aggregate.

b. During Construction/Installation. During construction/installation, Licensee's contractor shall also maintain and provide Village with evidence of each of the insurance coverages specified in subparagraph (a) and in the amounts so specified. In addition, the contractor shall provide builder's risk insurance on an "all risks" basis for one hundred percent (100%) of the insurable value of all construction work in place or in progress from time to time, insuring the project, including materials in storage and while in transit, against loss or damage by fire or other casualty, with extended coverage, vandalism and malicious mischief coverage, bearing a replacement cost agreed amount endorsement.

c. Policies. The policy or policies of insurance required by subparagraphs (a) and (b) shall be underwritten by a company or companies authorized to do business in the State of Illinois, shall be reasonably satisfactory to Village, all general liability policies shall name Village as an additional insured and shall be delivered to the Village, together with a certificate of insurance, prior to the commencement of the term of this Agreement. Licensee or, where applicable, Licensee's contractors shall furnish Village with a written notice of any cancellation, reduction or modification of insurance required under this Section.

15. **LIENS:** Licensee agrees that it will not permit or suffer any lien to be put upon or arise or accrue against the Property in favor of any person or persons, individual or corporate, furnishing either labor or material in any work herein proposed, and the Licensee further covenants and agrees to hold the Village and its property free from any and all liens, or rights or claim of lien, which may or might arise or accrue under or be based upon any mechanic's lien law of the State of Illinois. If any such lien or claim for lien is filed or recorded against the Property, the Village shall give Licensee notice thereof and demand that Licensee remove the same, or post adequate security to insure the removal of the same following the resolution of any dispute between Licensee and the lienholder, within thirty (30) days after such notice. Nothing in this

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provision shall restrict Licensee from granting a security interest in all or any part of Licensee's Improvements and to file of record UCC financing statements and/or fixture filings to perfect the same.

16. ASSIGNMENT AND SUBLEASING: This Agreement may not be assigned or transferred without the express written consent of the Village, which shall not be unreasonably withheld, conditioned or delayed. The Village agrees to respond to any such request within thirty (30) days from receipt of the request. Any assignment or transfer without such written consent shall, at the option of the Village, be deemed to be void and of no effect. Provided, however, this Agreement may be assigned or transferred to Licensee's parent or subsidiary, successor legal entity or other affiliate of Licensee without the Village's written consent as long as the Village is given written notice of the assignment or transfer within thirty (30) days after said assignment or transfer occurs.

The Village must approve any sublease to any entity that is not Licensee's parent or subsidiary, successor legal entity or other affiliate of Licensee and the Village shall be entitled to fifty percent (50%) of any such sublease in addition to the rental fee as described in Section 7. COMPENSATION, above.

17. HAZARDOUS SUBSTANCES:

The Village represents and warrants that it has no knowledge of any hazardous substance existing on the Property in violation of any applicable federal, State or local law, regulation or ordinance. The Village further agrees to hold Licensee harmless from and indemnify Licensee against any damage, loss or expense or liability resulting from the existence on the Property of any such hazardous substance, including all attorney's fees and consultant fees, costs and penalties, incurred as a result thereof, unless caused by Licensee or any of its employees or agents.

Licensee represents and warrants that its use of the Licensed Premises will not generate any hazardous substance, and that it will not store or dispose on the Licensed Premises, nor transport to or over the Licensed Premises, any hazardous substance in violation of any applicable federal, State or local law, regulation or ordinance. Licensee further agrees to hold the Village harmless from and against and indemnify the Village against any release of such hazardous substance and any damage, loss, or expense or liability resulting from such release, including attorney's fees and consultant fees, costs and penalties, incurred as a result thereof, which was caused by Licensee or any of its employees or agents.

"Hazardous Substance" as used herein shall mean any substance or material defined or designated as hazardous or toxic waste, hazardous or toxic materials, hazardous or toxic radioactive substance, or other similar term by any federal, State or local environmental law, regulation or ordinance presently in effect or promulgated in the future.

18. COST OF ENFORCEMENT: The prevailing party in any action or proceeding in court or mutually agreed upon arbitration proceeding to enforce the terms of this Agreement shall be entitled to receive its reasonable attorney's fees and other reasonable enforcement costs and expenses from the non-prevailing party.

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19. **INVALIDITY:** If any section, paragraph, clause or provision of this Agreement shall be held invalid, the invalidity of such section, paragraph, clause or provision shall not affect any of the other provisions of this Agreement.

20. **FORCE MAJEURE:** Neither party shall be deemed in violation of this Agreement for the delay in performance or failure to perform in whole or in part its obligations under this Agreement due to strike, war or act of war (whether an actual declaration is made or not), insurrection, riot, act of public enemy, fire, flood or other act of God or by other events to the extent that such events are caused by circumstances beyond such party's control.

21. **NOTICES:** Unless otherwise specified herein, all notices under this agreement shall be made in writing shall be deemed validly given if sent by certified mail, return receipt requested or by commercial courier, provided the courier's regular business is delivery service and provided further that it guarantees delivery to the addressee by the end of the next business day following the courier's receipt from the sender and delivered to:

Village:
Village Manager
Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60515
630.434-5500

With Copy to:
Village Attorney
Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60515
630.434-5541

Licensee:
Chicago SMSA Limited Partnership
d/b/a Verizon Wireless
180 Washington Valley Road
Bedminster, New Jersey 07921
Attention: Network Real Estate

22. **GOVERNING LAW:** This Agreement shall be governed by the laws of the State of Illinois.

[Signatures Follow on the Next Page]

Site: 4414 Downers Drive

IN WITNESS WHEREOF, the parties hereto have executed this Agreement on the ____ day of _____, 20__.

LICENSEE
Chicago SMSA Limited Partnership
d/b/a Verizon Wireless

VILLAGE OF DOWNERS GROVE

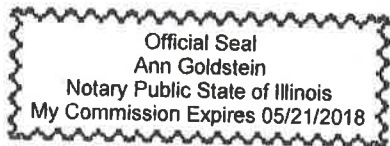
By: Cello Partnership, its General Partner

By:

By: 
Name: Lynn Ramsey
Title: Area Vice President Network

David Fieldman, Village Manager

Date: 1/27/15



ATTEST:

Subscribed and sworn to
this 27 day of JAN., 2015.

April Holden, Village Clerk



Notary Public

Site: 4414 Downers Drive

Exhibit 1

Site Map of Property showing Tower Space and Ground Space

(see attached)

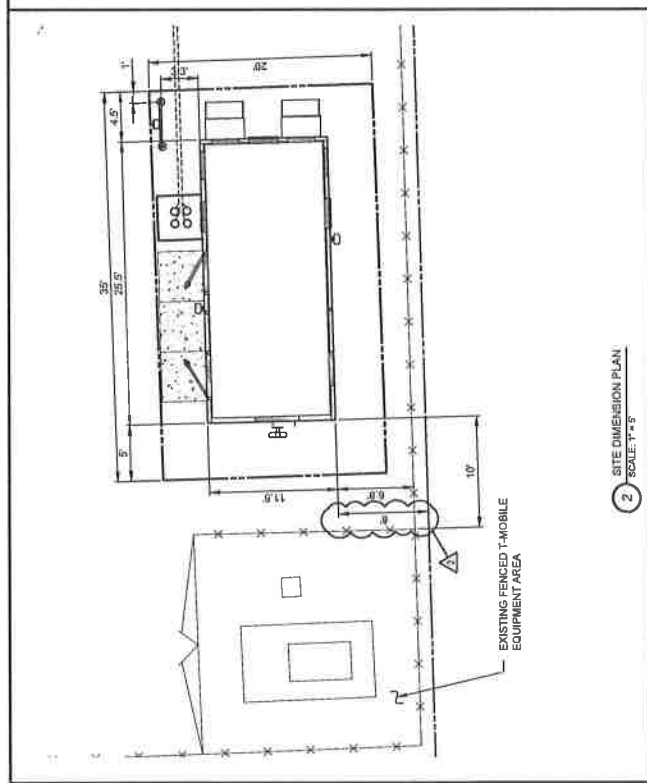
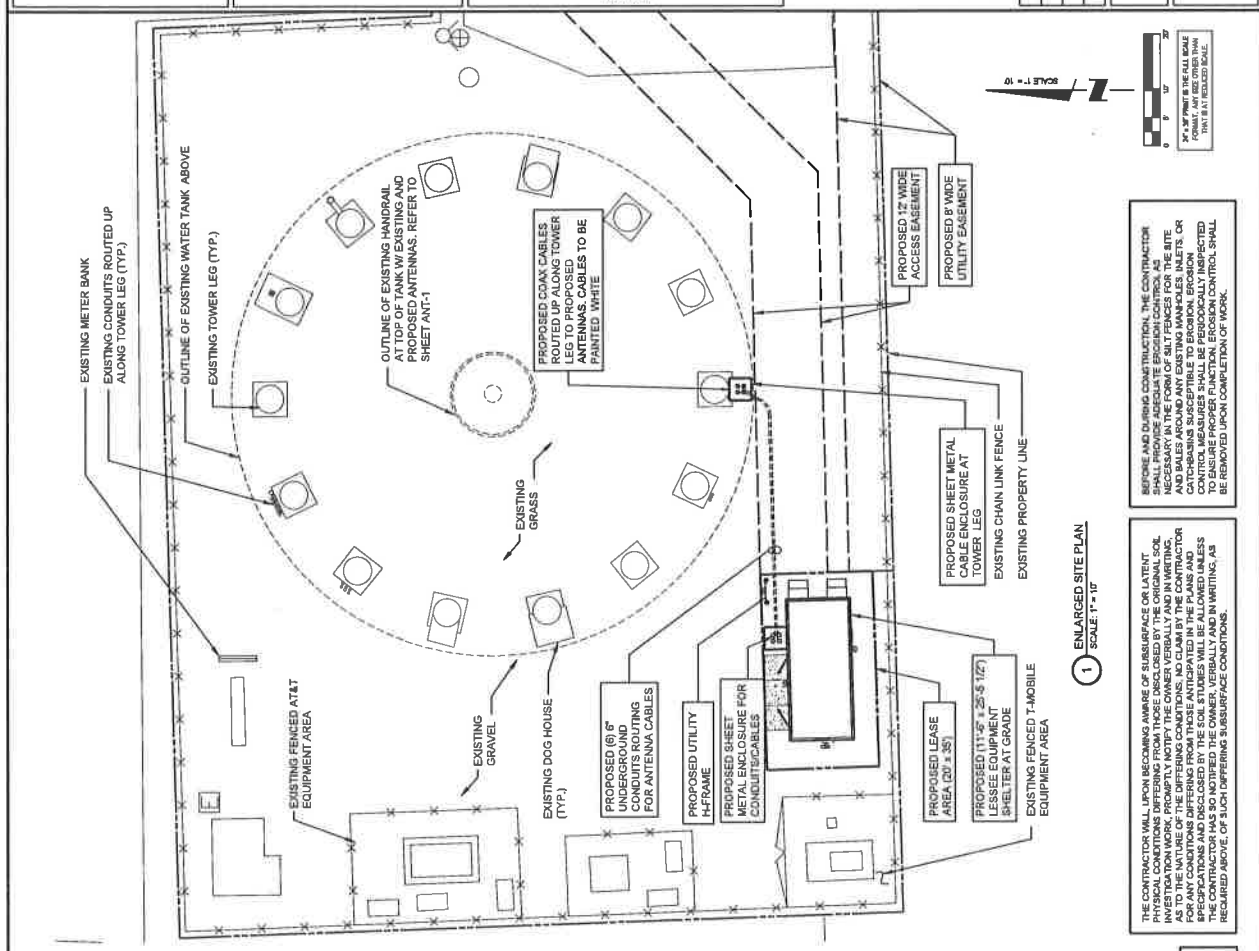
CHICAGO SMA
limited partnership
d/b/a VERIZON WIRELESS

TERRA
600 RUSSE HIGHWAY
PARK RIDGE, IL 60068
PH: 630-488-6600
FAX: 630-488-6601

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR REVIEW	1/23/14	WJL
2	UPDATE WITH NEW STRUCTURAL DETAILS	1/23/14	WJL
3	UPDATE WITH VILLAGE COMMENTS	1/23/14	WJL

LOC. #269499
LISLE EAST
4414 DOWNERS DRIVE
DOWNERS GROVE, IL

ENLARGED SITE PLAN
SHEET TITLE
SHEET NUMBER
C-1



BEFORE AND DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE ADEQUATE EROSION CONTROL, AS WELL AS SLOTTED CURBS, SLOTTED CURB AND BALES AROUND ANY EXISTING MANHOLES, INLETS, OR CATCHBASINS SUSCEPTIBLE TO EROSION. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND SHALL BE REMOVED UPON COMPLETION OF WORK.

THE CONTRACTOR WILL, UPON BECOMING AWARE OF SUBSURFACE OR LATENT PHYSICAL CONDITIONS DIFFERING FROM THOSE DISCLOSED BY THE ORIGINAL SOIL BORINGS AND TESTS, IMMEDIATELY NOTIFY THE ENGINEER AND STOP WORK AS TO THE NATURE OF THE DIFFERING CONDITIONS. NO CLAIM BY THE CONTRACTOR FOR ANY CONDITIONS DIFFERING FROM THOSE ANTICIPATED IN THE PLANS AND SPECIFICATIONS AND SO DESCRIBED. THE SOIL SET BY THE TOWER UNLESS REQUIRED ABOVE, OF SUCH DIFFERING SUBSURFACE CONDITIONS.

CONTRACTOR TO PROVIDE APPROXIMATE BRUSH STAGING AREA AND TEMPORARY ROAD THAT IS ACCEPTABLE TO THE COORDINATE WITH ANTENNA CONTRACTOR. A STAGING AREA SHALL BE RESTORED TO EXISTING CONDITIONS AS NECESSARY UPON COMPLETION OF THE PROJECT.

CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING PAVEMENT. CONTRACTOR SHALL PHOTOGRAPH AND VIDEO/TAPE EXISTING PAVEMENT PRIOR TO CONSTRUCTION AND SHALL RESTORE TO EXISTING CONDITIONS AS NECESSARY UPON COMPLETION OF THE PROJECT.

Survey performed by:
Advanced Surveying & Mapping
Telephone (630) 273-2500
Fax (630) 273-2600
E-MAIL: advanced@advcl.com



BASIS OF BEARING

BEARINGS SHOWN HEREON ARE BASED ON ILLINOIS STATE PLANE, EAST ZONE, 83-12 NEAR MAGNETIC DECLINATION 7° 12' MINUTES SENSITIVE WHOLEMINUTE QUADRANGLE STATE OF ILLINOIS LATITUDE: N 08° 01' 31.16" LONGITUDE: W 089° 01' 21.16" AT PROPOSED CENTRELINE OF TOWER COMPLIES WITH F.A.A. 1/4" ACCURACY REQUIREMENTS

SCALE: 1" = 60'

UTM GRID AND USBR HORIZONTAL DATUM DECLINATION AT CENTER OF QUAD MAP

RECORDED ACCESS AND UTILITY EASEMENT LEGAL DESCRIPTION

A PARCEL OF LAND FOR ACCESS AND UTILITY EASEMENT PURPOSES, BEING A PART OF LOT 2 IN PREBERT'S SUBDIVISION OF LOTS 9, 9 AND 10 IN PARCEL J, WILCOX GROVE AVENUE ADDITION TO DOWNERS GROVE A SUBDIVISION, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID LOT 2, THENCE NORTH 88° 25' 35" EAST ALONG THE SOUTH LINE OF SAID LOT 2, A DISTANCE OF 120.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 88° 25' 35" WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, A DISTANCE OF 88.2335 FEET TO THE POINT OF BEGINNING; THENCE NORTH 01° 34' 25" WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, A DISTANCE OF 61.24 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 01° 34' 25" WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, A DISTANCE OF 35.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 88° 25' 35" EAST ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 121.50 FEET WITH A CHORD WHICH BEARS SOUTH 79° 46' 33" EAST, 46.95 FEET; THENCE SOUTH 88° 25' 35" WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, A DISTANCE OF 88.2335 FEET TO THE POINT OF BEGINNING; THENCE NORTH 88° 25' 35" EAST ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 121.50 FEET WITH A CHORD WHICH BEARS SOUTH 79° 46' 33" EAST, 46.95 FEET; THENCE SOUTH 88° 25' 35" WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, A DISTANCE OF 35.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 88° 25' 35" EAST ALONG THE SOUTH LINE OF SAID LOT 2, A DISTANCE OF 120.00 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 3,954.2 SQUARE FEET.

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SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS) 155
COUNTY OF KENDALL)

I, CHARLES S. MARSHALL, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON, BEING COMPLETED IN THE FIELD ON 8/29/2013 IS A CORRECT REPRESENTATION OF A SURVEY PERFORMED AT AND UNDER MY DIRECTION.

THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND BOUNDARY SURVEYS SET FORTH BY ILLINOIS STATE LAW.

ALL DIMENSIONS ARE IN FEET AND DECIMAL FRACTIONS THEREOF.

GIVEN UNDER MY HAND AND SEAL THIS 7TH DAY OF SEPTEMBER, 2013.

CHARLES S. MARSHALL
ILLINOIS LICENSE EXPIRES 11/30/2016

NO.	DATE	REVISION
1.	8/29/2013	FIELD SURVEY COMPLETED
2.	1/7/2015	FINAL SURVEY COMPLETED

PROJECT INFORMATION

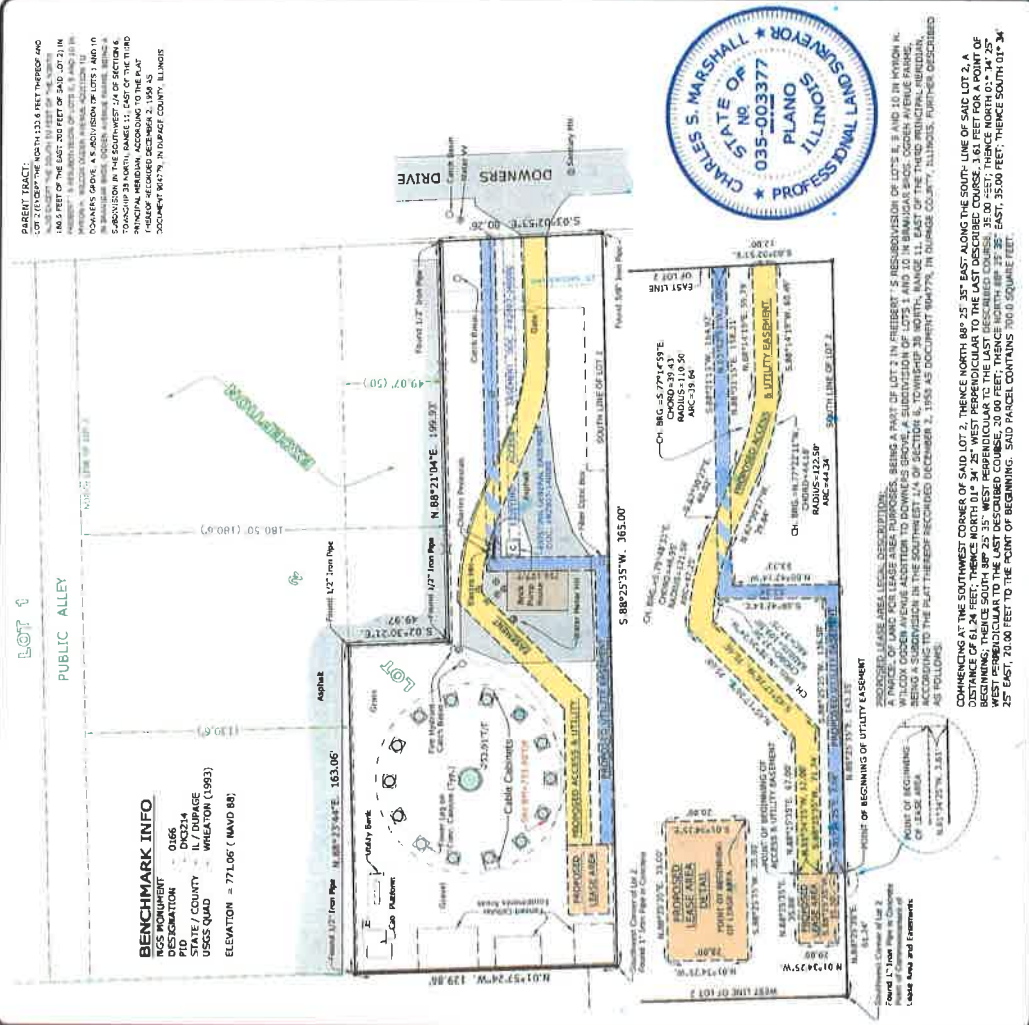
LISLE EAST
LOC. No.: 269499
PROJ. No.: 20130915283
4414 DOWNERS DRIVE
DOWNERS GROVE, IL 60515

DRAWN BY: DL
CHECKED BY: CSR

PROJECT NO.: 728266A

L-1

SHEET 1 OF 1



LEGEND

	Light Pole
	Utility Pole
	Fire Hydrant
	Manhole
	F.O.C. Cross
	Survey Monument
	Survey Station
	Easement
	Proposed Lease Area
	Utility Easement
	Access Easement
	Utility Easement
	Access Easement



SURVEY NOTES

EASEMENTS AND SETBACKS SHOWN HEREON ARE BASED UPON THE RECORDED SUBDIVISION PLAT, UNLESS NOTED OTHERWISE. THE SURVEYOR EXPRESSES NO OPINION AS TO THE ACCURACY OF ANY UNDERGROUND UTILITIES WHEN NOT READILY VISIBLE ABOVE THE SURFACE. IT IS RECOMMENDED THAT THE UTILITY COMPANY BE CONTACTED FOR VERIFICATION.

THE PERMANENT PARCEL NUMBER FOR THE PROPERTY ENCLAMBERED BY THE LEASE SITE AND EASEMENT HEREON IS 99-06-307-013.

THE FLOOD INSURANCE RATE MAP SHOWS THAT THE PROPERTY DESCRIBED HEREON IS FALLING WITHIN ZONE "X," ACCORDING TO THE COMMUNITY PANEL NUMBER 170294 B901 H, VILLAGE OF DOWNERS GROVE, ILLINOIS AND INCORPORATED AREAS, WITH AN EFFECTIVE DATE OF DECEMBER 16, 2004.

A PARCEL IDENTIFICATION TO BE OUTSIDE THE 31.2% ANNUAL CHANCE FLOODPLAIN.

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Chicago SMSA

Chicago SMSA, UNITED PARTNERSHIP
600 Busse Highway
Park Ridge, IL 60068
(847) 698-6400

TERRA CONSULTING GROUP, LTD.

CHARLES S. MARSHALL
ILLINOIS PROFESSIONAL LAND SURVEYOR
035-003377

ASMA

ASMA CONSULTANTS, INC.
16 E. Wilson Street, Batavia, IL 60510
Tel (630) 879-0200 Fax (630) 454-4774
advanced@advct.com

Professional Design Firm # 184-006014 expires 4/30/2015

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Site: 4414 Downers Drive

Exhibit 2
Plans and Specifications
(see attached)

<p>CONSULTANT TEAM</p> <p>PROJECT CONSULTANT: TERRA CONSULTING GROUP, LTD. 800 BUSSE HIGHWAY PARK RIDGE, IL 60068 (847) 696-6400</p> <p>SURVEYOR: WILLIAMS AND WORKS GRAND RAPIDS, MI 49503 (616) 224-1500</p> <p>STRUCTURAL CONSULTANT: EDWIN ENGINEERING, INC 1104 THIRD AVE LAKE ODESSA, MI 48849 (616) 374-5221</p> <p>APPROVALS</p> <p>REAL ESTATE: _____</p> <p>RF: _____</p> <p>CONSTRUCTION: _____</p> <p>OPERATIONS: _____</p> <p>EQUIPMENT ENGINEERING: _____</p> <p>EQUIPMENT ENCLOSURE: _____</p>	<p>PROJECT TYPE: PROPOSED LESSEE ANTENNAS TO BE MOUNTED ON EXISTING WATER TOWER WITH PROPOSED 11'x 25'x 112' EQUIPMENT ENCLOSURE AT BASE.</p> <p>SITE COORDINATES: LATITUDE: 41° 48' 25.35" N (FROM 1A) LONGITUDE: 88° 01' 31.61" W (FROM 1A) ELEVATION: 2754' (FROM 1A)</p> <p>DRIVING DIRECTIONS: FROM LESSEE OFFICE: Head north, slight right toward E Woodfield Rd. Continue onto E Woodfield Rd. Turn right onto W Forbese Rd. Take the Interstate 290 E ramp on the left to Chicago. Follow I-290 E and I-355 S to IL-56 E/Butterfield Rd in Downers Grove. Take the I-580-L-56/Butterfield Rd exit from I-355 S. Merge onto I-290 E. Keep left at the fork to continue on I-355 S. Follow signs for Interstate 355 South. Take the I-355 S/56th Street exit. Turn right onto I-355 S/56th Street. Turn right onto S Frisley Rd. Turn left onto Ogden Ave. Turn right onto Seeley Ave. Turn right onto S Frisley Rd. Turn left onto Ogden Ave. Turn right onto Seeley Ave. Take the 1st right onto Grand St. Turn right onto Downers Dr and take it to the site.</p>	<p>VICINITY MAP</p> <p style="text-align: center;">SITE LOCATION</p>	<p>REGIONAL MAP</p> <p style="text-align: center;">SITE LOCATION</p>																																																															
<p>CHICAGO SMSA <i>limited partnership</i></p> <p>600 BUSSE HIGHWAY PARK RIDGE, IL 60068 PH: 847-696-6400 FAX: 847-696-4401</p>	<p>TERRA CONSULTING GROUP, LTD.</p>	<p>REVISIONS</p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr><th>NO.</th><th>DATE</th><th>DESCRIPTION</th></tr> <tr><td>1</td><td>10/27/14</td><td>ISSUED FOR REVIEW</td></tr> <tr><td>2</td><td>11/10/14</td><td>UPDATES WITH NEW ELECTRICAL DETAILS</td></tr> <tr><td>3</td><td>11/20/14</td><td>UPDATES WITH NEW COMMENTS</td></tr> </table>	NO.	DATE	DESCRIPTION	1	10/27/14	ISSUED FOR REVIEW	2	11/10/14	UPDATES WITH NEW ELECTRICAL DETAILS	3	11/20/14	UPDATES WITH NEW COMMENTS	<p>PROJECT INFORMATION</p> <p>PLIN # _____</p> <p>ADDRESS: 4414 DOWNERS DRIVE, DOWNERS GROVE, IL 60515</p> <p>UTILITIES: POWER, FIBER, T.B.D.</p> <p>JURISDICTION: N/A</p> <p>OCCUPANCY: UNINHABITED</p> <p>ZONING: N/A</p> <p>CONSTRUCTION TYPE: WATER TANK CO LO</p> <p>PROPERTY OWNER: CITY OF DOWNERS GROVE</p> <p>TOWER OWNER: CITY OF DOWNERS GROVE (830) 454-6815</p> <p>CONTACT PERSON: DAVE YELTON (830) 454-6815</p> <p>APPLICANT: CHICAGO SMSA <i>limited partnership</i> d/b/a Verizon Wireless 1515 WOODFIELD ROAD SCHAUMBURG, IL 60173</p> <p>CONSTRUCTION MANAGER: MICHAEL EBENMENGER (847) 619-3043</p> <p>REAL ESTATE MANAGER: DANNY PEREZ (847) 706-1766</p>																																																			
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<p>CONSULTANT TEAM</p> <p>PROJECT CONSULTANT: TERRA CONSULTING GROUP, LTD. 800 BUSSE HIGHWAY PARK RIDGE, IL 60068 (847) 696-6400</p> <p>SURVEYOR: WILLIAMS AND WORKS GRAND RAPIDS, MI 49503 (616) 224-1500</p> <p>STRUCTURAL CONSULTANT: EDWIN ENGINEERING, INC 1104 THIRD AVE LAKE ODESSA, MI 48849 (616) 374-5221</p> <p>APPROVALS</p> <p>REAL ESTATE: _____</p> <p>RF: _____</p> <p>CONSTRUCTION: _____</p> <p>OPERATIONS: _____</p> <p>EQUIPMENT ENGINEERING: _____</p> <p>EQUIPMENT ENCLOSURE: _____</p>	<p>CHICAGO SMSA <i>limited partnership</i></p> <p>CHICAGO SMSA LIMITED PARTNERSHIP d/b/a VERIZON WIRELESS 1515 WOODFIELD ROAD, SUITE 1400 SCHAUMBURG, ILLINOIS 60173 PHONE: (847) 619-5397 FAX: (847) 706-7415</p>	<p>LOC. #269499</p> <p>LISLE EAST</p> <p>4414 DOWNERS DRIVE DOWNERS GROVE, IL</p>	<p>DRAWING INDEX</p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr><th>SHEET</th><th>TITLE SHEET</th><th>REVISION</th></tr> <tr><td>T-1</td><td>TITLE SHEET</td><td>1, 2</td></tr> <tr><td>LP</td><td>LOCATION PLAN</td><td>-</td></tr> <tr><td>C-1</td><td>ENGINEERING SITE PLAN</td><td>2</td></tr> <tr><td>C-2</td><td>SITE GRADING PLAN</td><td>-</td></tr> <tr><td>C-3</td><td>EQUIPMENT ENCLOSURE FOUNDATION PLAN</td><td>-</td></tr> <tr><td>ANT-1</td><td>SITE ELEVATION</td><td>1</td></tr> <tr><td>ANT-2</td><td>WATER TANK ROOF PLAN</td><td>1</td></tr> <tr><td>ANT-3</td><td>ANTENNA INFORMATION</td><td>-</td></tr> <tr><td>ANT-4</td><td>ANTENNA MOUNTING DETAILS</td><td>-</td></tr> <tr><td>S-1</td><td>STRUCTURAL DRAWINGS</td><td>1</td></tr> <tr><td>S-2</td><td>STRUCTURAL DRAWINGS</td><td>1</td></tr> <tr><td>B-1</td><td>EQUIPMENT ENCLOSURE PLAN AND SECTION</td><td>2</td></tr> <tr><td>B-2</td><td>EQUIPMENT ENCLOSURE ELEVATIONS</td><td>-</td></tr> <tr><td>E-1</td><td>UTILITY ROUTING PLAN</td><td>-</td></tr> <tr><td>E-2</td><td>SITE GROUNDING PLAN</td><td>-</td></tr> <tr><td>E-3</td><td>ELECTRICAL AND GROUNDING DETAILS</td><td>-</td></tr> <tr><td>E-4</td><td>ELECTRICAL AND GROUNDING DETAILS</td><td>-</td></tr> <tr><td>SP-1</td><td>SPECIFICATIONS</td><td>-</td></tr> <tr><td>SP-2</td><td>SPECIFICATIONS</td><td>-</td></tr> <tr><td>TOT</td><td>SITE SURVEY</td><td>-</td></tr> </table>	SHEET	TITLE SHEET	REVISION	T-1	TITLE SHEET	1, 2	LP	LOCATION PLAN	-	C-1	ENGINEERING SITE PLAN	2	C-2	SITE GRADING PLAN	-	C-3	EQUIPMENT ENCLOSURE FOUNDATION PLAN	-	ANT-1	SITE ELEVATION	1	ANT-2	WATER TANK ROOF PLAN	1	ANT-3	ANTENNA INFORMATION	-	ANT-4	ANTENNA MOUNTING DETAILS	-	S-1	STRUCTURAL DRAWINGS	1	S-2	STRUCTURAL DRAWINGS	1	B-1	EQUIPMENT ENCLOSURE PLAN AND SECTION	2	B-2	EQUIPMENT ENCLOSURE ELEVATIONS	-	E-1	UTILITY ROUTING PLAN	-	E-2	SITE GROUNDING PLAN	-	E-3	ELECTRICAL AND GROUNDING DETAILS	-	E-4	ELECTRICAL AND GROUNDING DETAILS	-	SP-1	SPECIFICATIONS	-	SP-2	SPECIFICATIONS	-	TOT	SITE SURVEY	-
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12/30/2011
E-60-1130/2015

CHICAGO
SMSA
 limited partnership
 d/b/a VERIZON WIRELESS

TERRA
 800 RUSSE HIGHWAY
 PARK RIDGE, IL 60068
 PH: 847-898-6100
 FAX: 847-898-0401

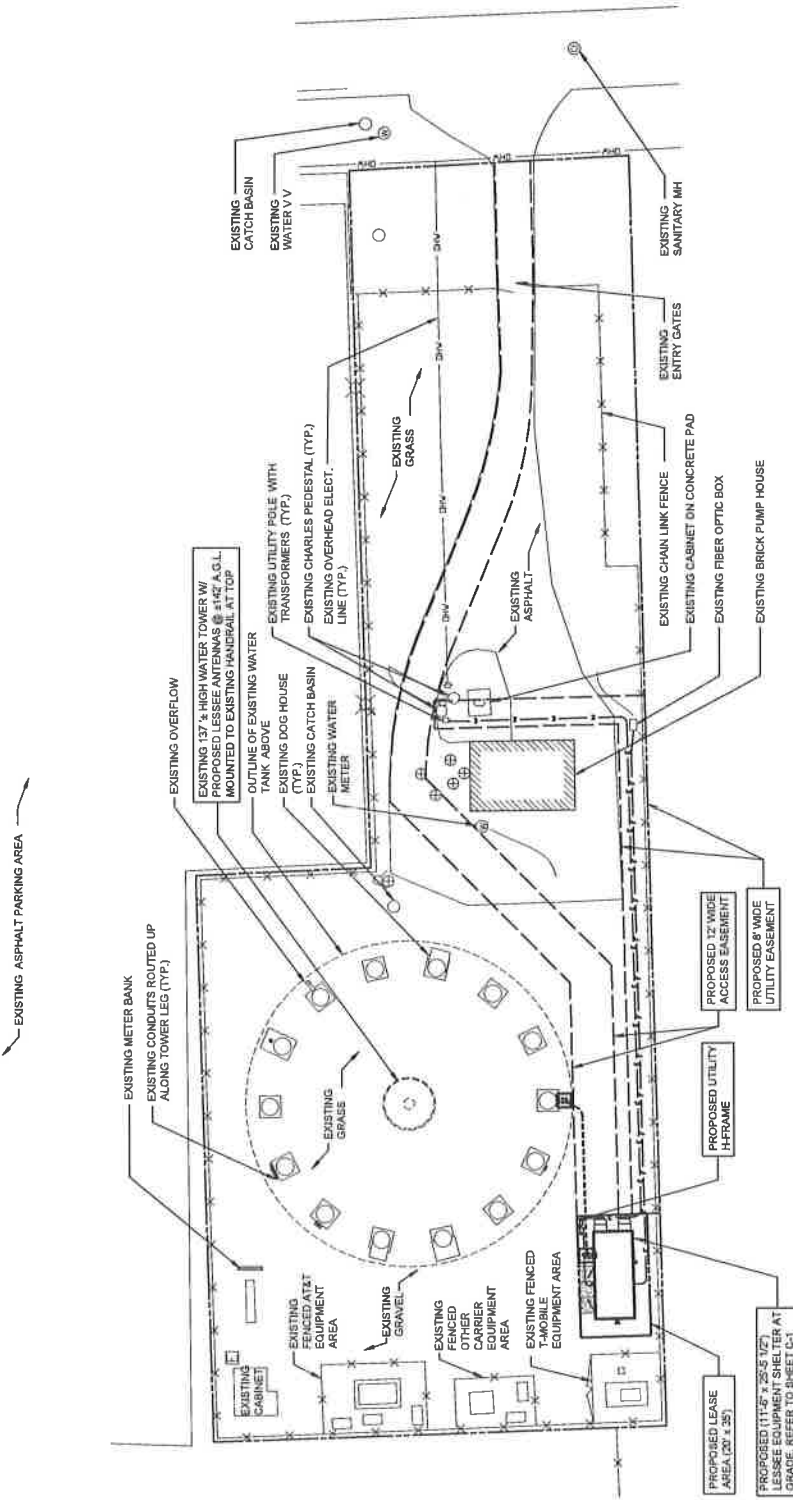
NO.	DATE	DESCRIPTION
1	11/11/14	ISSUED FOR REVIEW
2	11/20/14	ISSUED WITH NEW ELECTRICAL SYMBOLS
3	12/22/14	ISSUED FOR VENDOR COMMENTS

LOC. #269499
 LISLE EAST
 4114 DOWNERS DRIVE
 DOWNERS GROVE, IL

DRAWN BY:	LP
CHECKED BY:	TAZ
DATE:	10/23
PROJECT #:	33-1385
SHEET TITLE	
LOCATION PLAN	
SHEET NUMBER	
LP	



NOTE:
 THE LOCATION OF
 PROPOSED ANTENNAS NEED
 TO BE VERIFIED WITH THE
 ELECTRICAL & STRUCTURAL
 ANALYSIS



Survey performed by:
Advanced Surveying & Mapping
 Telephone (830) 273-2500
 Fax (830) 273-2600
 E-MAIL advanced@advct.com

1 SITE PLAN
 SCALE: 1" = 10'

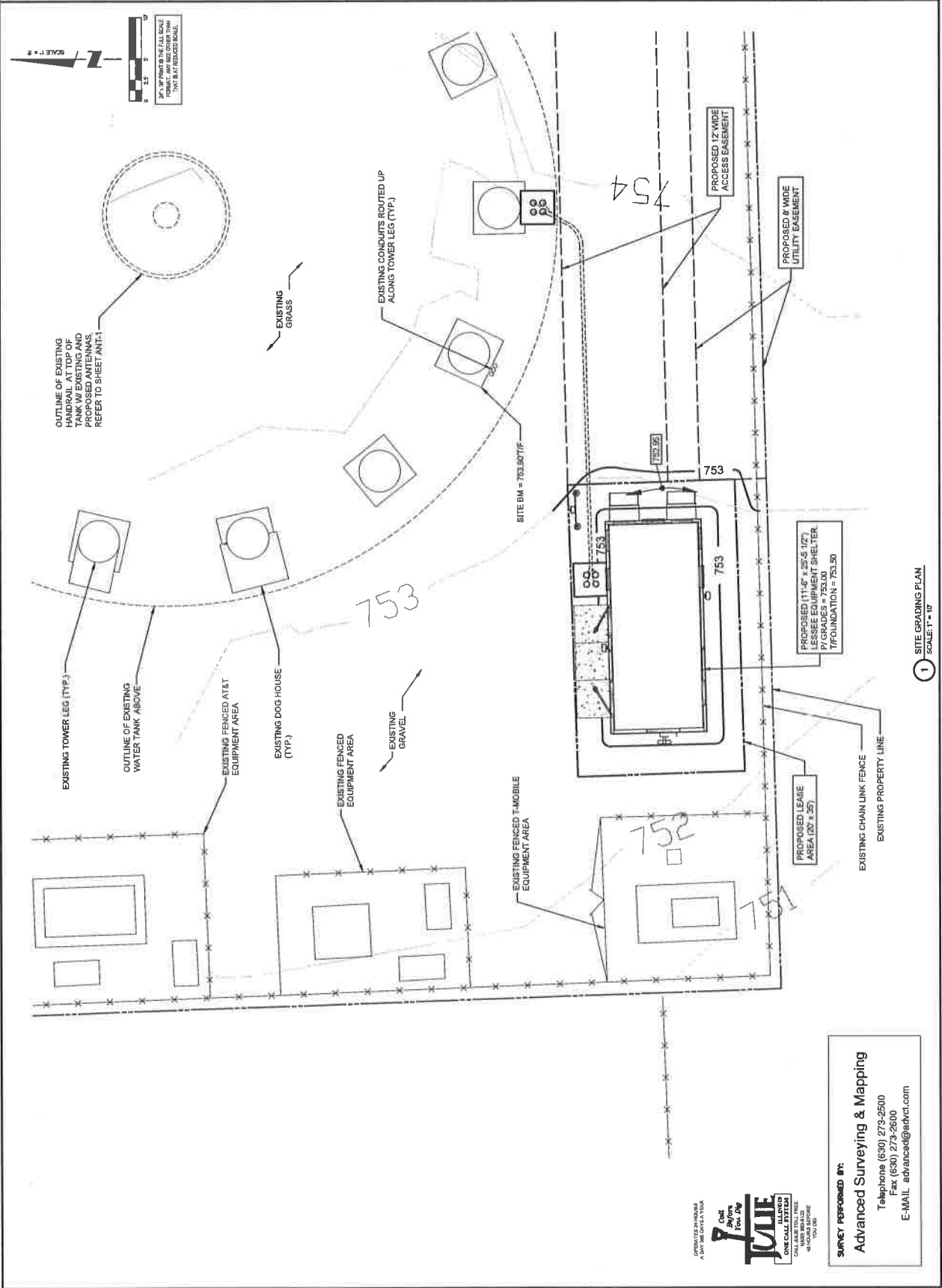
CHICAGO
SMSA
 limited partnership
 d/b/a VERIZON WIRELESS

TERRA
 800 BUSSE HIGHWAY
 PARK RIDGE, IL 60068
 PH: 847-838-4400
 FAX: 847-838-4401

NO.	DATE	DESCRIPTION
1	11/17/11	ISSUED FOR REVIEW
2	11/22/11	UPDATE WITH NEW STRUCTURAL DETAILS
3	12/01/11	UPDATE WITH FINAL COMMENTS

LOC. #269499
 LISLE EAST
 4414 DOWNERS DRIVE
 DOWNERS GROVE, IL

DRAWN BY:	LR
CHECKED BY:	TAZ
DATE:	10/27/11
PROJECT #:	33-100
SHEET TITLE:	SITE GRADING PLAN (SHEET 1 OF 1)
SHEET NUMBER:	C-2



1 SITE GRADING PLAN
 SCALE: 1" = 10'

OPERATED BY TERRA
 A DIV. OF CHICAGO SMSA

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 ONE CALL SYSTEM
 CALL 811 OR VISIT
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 TO FIND OUT
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 YOUR FEET

SURVEY PERFORMED BY:
Advanced Surveying & Mapping
 Telephone (630) 273-2500
 Fax (630) 273-2600
 E-MAIL advanced@advct.com

Chicago S^MA
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dba/ VERIZON WIRELESS

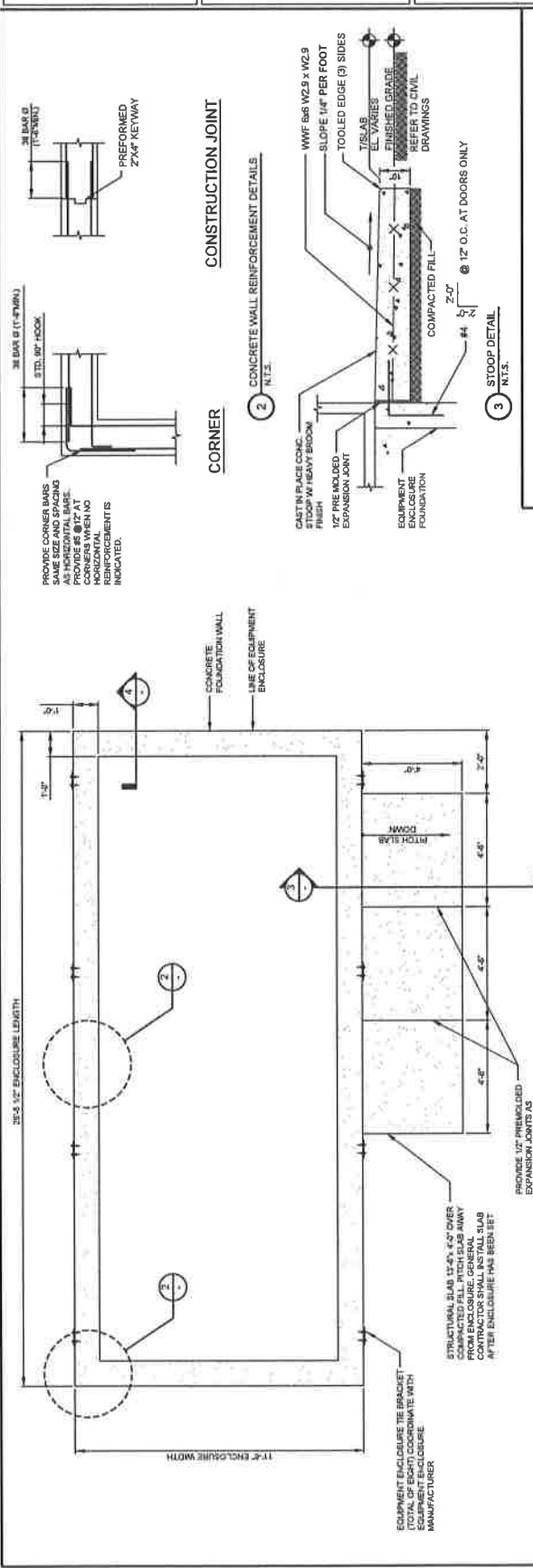
TERRA
808 BUSSE HIGHWAY
PARK RIDGE, IL 60068
PH: 847-698-4000
FAX: 847-698-4011

NO	DATE	DESCRIPTION
1	12/25/14	ISSUED FOR REVIEW
2	1/26/15	UPDATE WITH REVISIONARY DETAILS
3	2/23/15	UPDATE PER VILLAGE COMMENTS

LOC. #269499
LISLE EAST

4414 DOWNERS DRIVE
DOWNERS GROVE, IL

DESIGNED BY:	L8
CHECKED BY:	TAZ
DATE:	10/27/14
PROJECT #:	14-1006
SHEET TITLE:	EQUIPMENT ENCLOSURE FOUNDATION PLAN
SHEET NUMBER:	C-3



REVISIONS

NO. DATE DESCRIPTION

1. REFER TO CIVIL DRAWINGS FOR ORIENTATION OF THE FOUNDATION.

2. EQUIPMENT ENCLOSURE FOUNDATION IS DESIGNED FOR THE FOLLOWING LOADS:
ENCLOSURE DEAD LOAD, 10,000 LBS.
ROOF LIVE LOAD, 30 PSF
FLOOR LIVE LOAD, 125 PSF

3. THE CONTRACTOR SHALL NOTIFY THE CLIENTS GEOTECHNICAL ENGINEER TO COORDINATE HAVING A FIELD REPRESENTATIVE ON SITE FOR TESTING AND INSPECTION.

4. FOOTINGS SHALL BEAS ON VIRGIN SOIL OR COMPACTED FILL MATERIAL CAPABLE OF SUPPORTING A MINIMUM SOIL BEARING CAPACITY OF 3000 PSF.

5. SUBGRADE PREPARATION

A. REMOVE ALL SOILS CONTAINING TOPSOIL, ORGANIC MATERIALS, AND/OR FILL MATERIALS FROM WITHIN AREA OF ENCLOSURE FOUNDATION.

B. PROOF ROLL RESULTING SUBGRADE WITH A HEAVILY LOADED SINGLE AXLE ROLLER OR EQUIPPED TIRE TRACKS TO BE PERFORMED TO A MINIMUM OF 2 TIMES TO REVEAL ALL WEAK AREAS AS DIRECTED BY THE TESTING AGENCY. CONTRACTOR SHALL INCLUDE ANTICIPATED UNDERCUT AS A RESULT OF THE TESTING AGENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FILL, BACKFILL AND COMPACT THIS AREA WITHIN THE BUILDING FOUNDATION. THE RESULTANT SUBGRADE AND FOUNDATION WALL WITH APPROVED GRANULAR MATERIAL.

6. FOUNDATION WALLS SHALL BE BACKFILLED EVENLY ON EACH SIDE OF THE WALL OR WALLS SHALL BE ADJACENTLY BRACED BY THE CONTRACTOR UNTIL FLOOR SLAB HAS BEEN PLACED AND CURED FOR 72 HOURS MINIMUM.

7. ENCLOSURE SHALL NOT BE SET UNTIL FLOOR SLAB HAS BEEN CURED FOR 72 HOURS MINIMUM.

8. CONTRACTOR TO ENSURE FOUNDATION SLAB ARE FOUNDED TO MEET FINISHNESS LEVEL TOLERANCES AS INDICATED IN ACI 4.5.3 AND 4.5.7.

8. EQUIPMENT ENCLOSURE

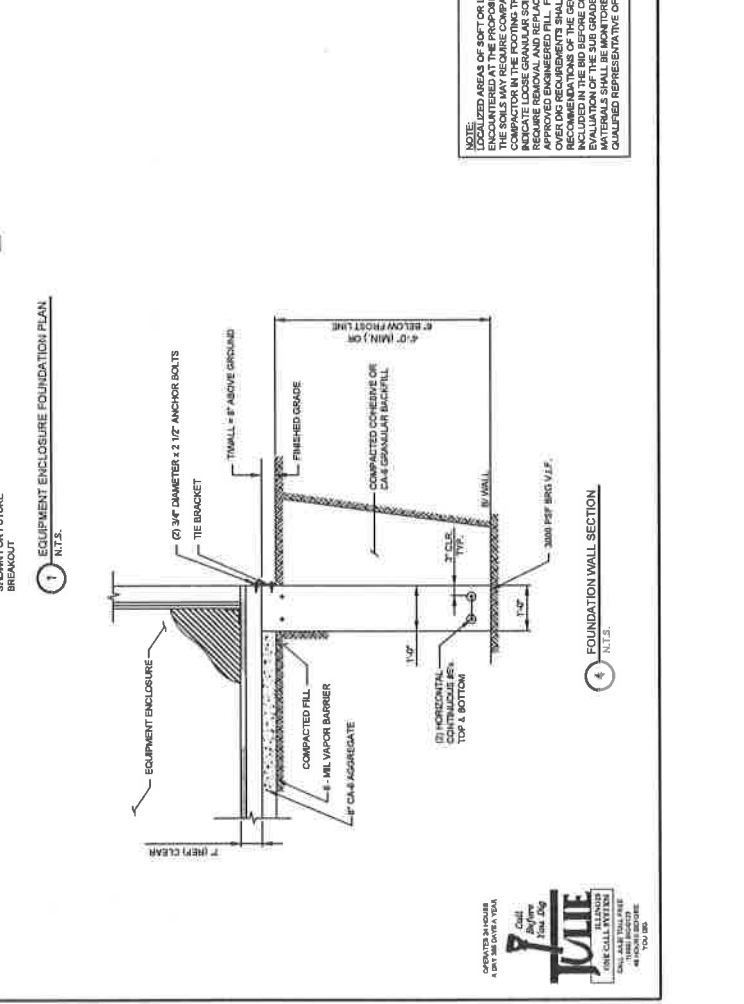
THE EQUIPMENT ENCLOSURE IS A PRE-FABRICATED BUILDING MANUFACTURED BY FSI/RECHD. THE EQUIPMENT ENCLOSURE BUILDING SHALL BE FURNISHED AND INSTALLED BY THE OWNER UNDER SEPARATE CONTRACT PER THE OWNER AND MANUFACTURER SPECIFICATIONS.

C. CONCRETE NOTES

1. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 318 AND ACI 301. LATEST EDITION. THESE DOCUMENTS SHALL BE AVAILABLE IN THE FIELD OFFICE.

2. EXCEPT WHERE OTHERWISE INDICATED, CONCRETE SHALL BE NORMAL WEIGHT AND WITH A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF F-4000 PSI. ALL EXTERIOR EXPOSED CONCRETE SHALL BE AIR ENTRAINMENT.

3. REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 4.



NOTE: ENCLOSED AREA OF SOFT OR LOOSE MATERIALS MAY BE ENCOUNTERED AT THE PROPOSED BEARING ELEVATION. THE SOILS MAY REQUIRE COMPACTION USING A PLATE TO BE PERFORMED TO A MINIMUM OF 2 TIMES TO REVEAL ALL WEAK AREAS AS DIRECTED BY THE TESTING AGENCY. CONTRACTOR SHALL INCLUDE ANTICIPATED UNDERCUT AS A RESULT OF THE TESTING AGENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FILL, BACKFILL AND COMPACT THIS AREA WITHIN THE BUILDING FOUNDATION. THE RESULTANT SUBGRADE AND FOUNDATION WALL WITH APPROVED GRANULAR MATERIAL.

RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND ALL OTHER REVISIONS SHALL BE INCLUDED IN THE SUBMITTALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING AND TESTING BY A QUALIFIED REPRESENTATIVE OF THE SOILS ENGINEER.

Call
Tom Og
ONE CALL WITNESS
ENR 848 234 4877
101.00

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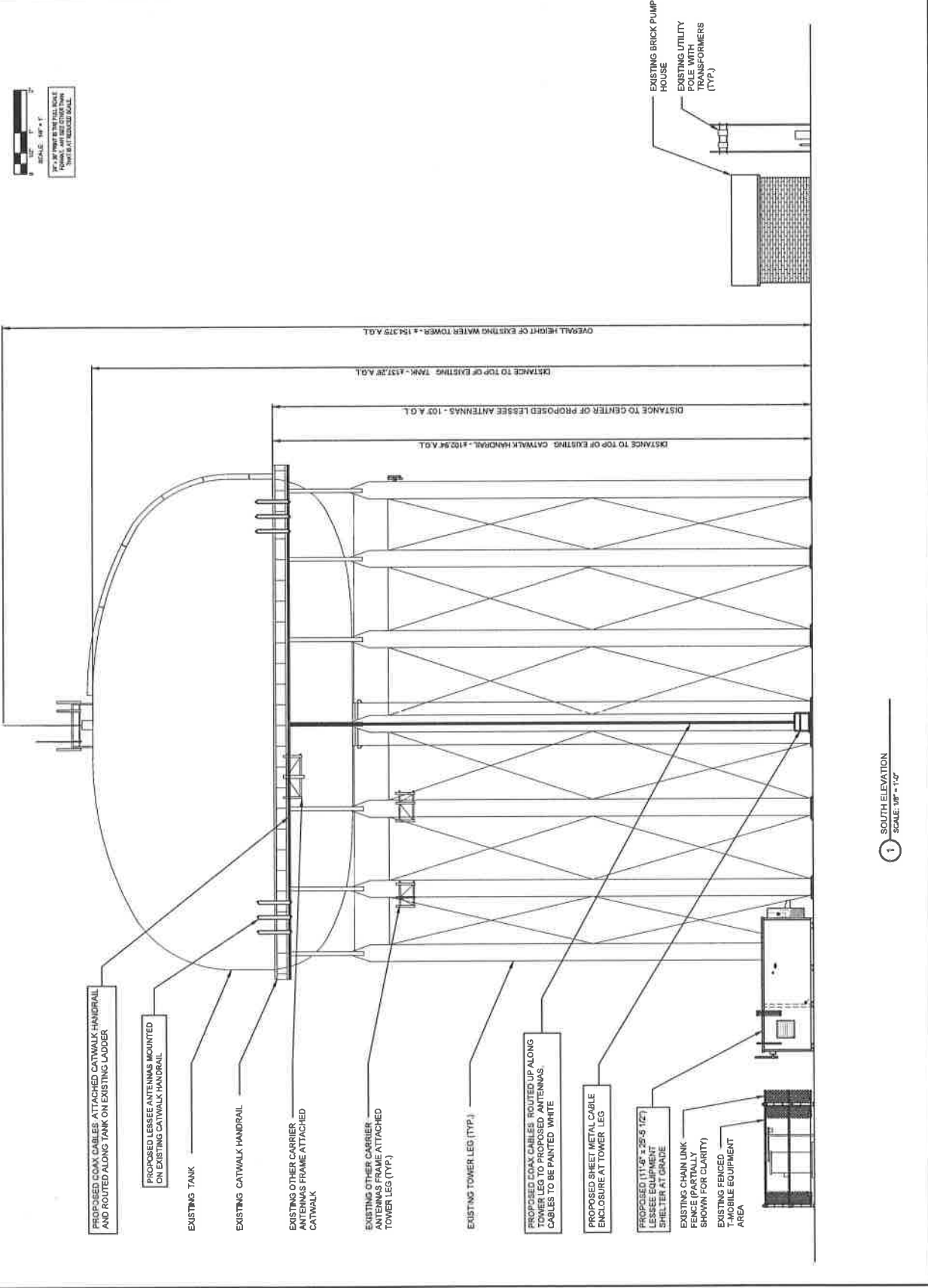
TERRA
 CONSULTING ENGINEERS, LTD.
 600 NUSSE HIGHWAY
 PARK RIDGE, IL 60068
 PH: 847-998-6400
 FAX: 847-998-6401

REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR REVIEW
2	ISSUED WITH NEW ELECTRICAL DETAILS
3	UPDATE PER VENDOR COMMENTS
4	
5	
6	
7	
8	
9	
10	

LOC. #269499
LISLE EAST
 4414 DOWNERS DRIVE
 DOWNERS GROVE, IL

DRAWN BY:	LA
CHECKED BY:	TAZ
DATE:	10/2/13
PROJECT #:	30-1300
SHEET TITLE	
SITE ELEVATION	

ANT-1
 SHEET NUMBER



1 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

CHICAGO SMA
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TERRA
 400 RUSSE HIGHWAY
 PARK RIDGE, IL 60068
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 FAX: 847-898-4401

NO.	DATE	BY	DESCRIPTION
1	10/29/15	TAZ	ISSUED FOR REVIEW
2	11/20/15	TAZ	UPDATE WITH NEW STRUCTURAL DETAILS
3	12/04/15	TAZ	UPDATE WITH VENDOR COMMENTS

LOC. #269499
LISLE EAST
 4414 DOWNERS DRIVE
 DOWNERS GROVE, IL

DRAWN BY	LS
CHECKED BY	TAZ
DATE	10/29/15
PROJECT #	3A-1305

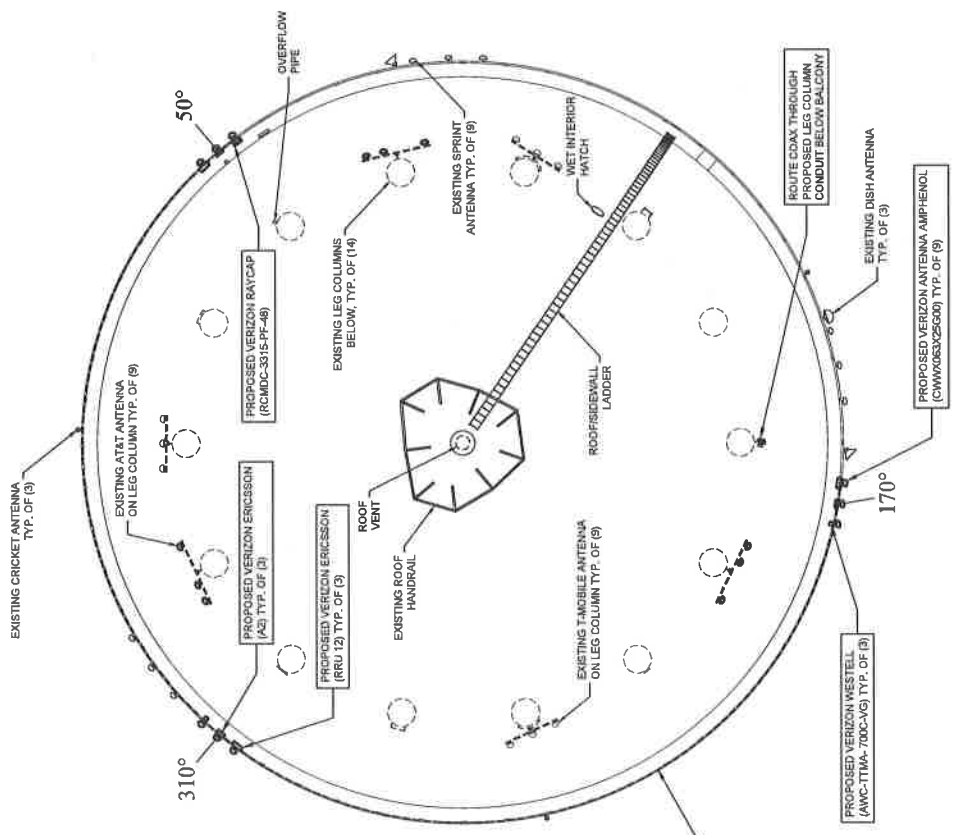
SHEET TITLE
WATER TANK ROOF PLAN

SHEET NUMBER

ANT-2



ESTIMATED MAIN LINE HYBRID & COAX LENGTH		
	50°	170°
COAX LENGTH	298' $\frac{1}{2}$	191' $\frac{1}{2}$
HYBRID LENGTH	FROM 170° = 138' $\frac{1}{2}$ L.F. TO SHELTER = 191' $\frac{1}{2}$ L.F.	310° 300' $\frac{1}{2}$ TO SATELLITE FROM 170° = 109' $\frac{1}{2}$ L.F.



2 ROOF TOP PLAN
 SCALE: 1/8" = 1'-0"

CHICAGO SMA
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d/b/a VERIZON WIRELESS

TERRA
500 BUSSE HIGHWAY
PARK RIDGE, IL 60068
PH: 847-439-6000
FAX: 847-439-6001

LOC. #269499
LISLE EAST

4414 DOWNERS DRIVE
DOWNERS GROVE, IL

400 DATE REVISIONS

NO.	DATE	DESCRIPTION	BY
1	12/17/14	UPDATE WITH NEW ELECTRICAL DETAILS	J2224
2	12/22/14	UPDATE PER VILLAGE COMMENTS	J2224

DRIVEN BY: LA
CHECKED BY: TAZ
DATE: 05/29/15
PROJECT #: 33-1365

SHEET TITLE: ANTENNA INFORMATION
SHEET NUMBER: ANT-3

Location	Manufacturer	Component Model	Count	Action
Top (Platform)	Westell	AWC-TMA-700C-VG	6	Install
Top (Platform)	Ericsson	RHUS 12 - AWS	3	Install
Top (Platform)	Ericsson	A2	3	Install
Top (Platform)	Raycap	RCMDC-3315-PF-48	1	Install
Top (Platform)	ANDREW	CBC78-DF-8DCB	6	Install
Top (Platform)	Raycap	ROMDC-3315-PF-48	1	Install
Bottom (Shelf)	ANDREW	CBC78-DF-8DCB	6	Install
Bottom (Shelf)	ANDREW	CBC78-DF-8DCB	6	Install

Sector	Coax Manufacturer	Type	Size	Count	Action
Alpha	ANDREW	HFT1206-24528-XXX	1 5/8	4	Install
Beta	ANDREW	HFT1206-24528-XXX	1 5/8	4	Install
Gamma	ANDREW	HFT1206-24528-XXX	1 5/8	4	Install
AWS	Andrew	XXX	1 5/8	1	Install

Comments

2 COMBINER CABLE DATA INFORMATION N.E.E.

3 CABLE DIAGRAM N.E.E.

4 CABLE DIAGRAM @ JUNCTION BOX N.E.E.

Section	Port	RF Path	Antenna Manufacturer	Antenna Model	Antenna Serial Number	Comments	Variable	Min	Max	Min	Max	Action
Alpha	AP1	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	AP2	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	AP3	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	AP4	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	AP5	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	AP6	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	AP7	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	AP8	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	AP9	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	AP10	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	AP11	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	AP12	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
Beta	BP1	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	BP2	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	BP3	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	BP4	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	BP5	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	BP6	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	BP7	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	BP8	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	BP9	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	BP10	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	BP11	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	BP12	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
Gamma	GP1	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	GP2	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	GP3	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	GP4	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	GP5	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	GP6	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	GP7	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	GP8	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	GP9	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	GP10	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	GP11	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)
	GP12	2.1 F432	Andrew	CBC78-DF-8DCB	010	100	1	1	1	1	1	Add (Install)

CHICAGO SMA
limited partnership
d/b/a VERIZON WIRELESS

TERRA
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LOC. #269499
LISLE EAST

4414 DOWNERS DRIVE
DOWNERS GROVE, IL

400 DATE REVISIONS

NO.	DATE	DESCRIPTION	BY
1	12/17/14	UPDATE WITH NEW ELECTRICAL DETAILS	J2224
2	12/22/14	UPDATE PER VILLAGE COMMENTS	J2224

DRIVEN BY: LA
CHECKED BY: TAZ
DATE: 05/29/15
PROJECT #: 33-1365

SHEET TITLE: ANTENNA INFORMATION
SHEET NUMBER: ANT-3

CHICAGO SMSA
 limited partnership
 d/b/a VERIZON WIRELESS

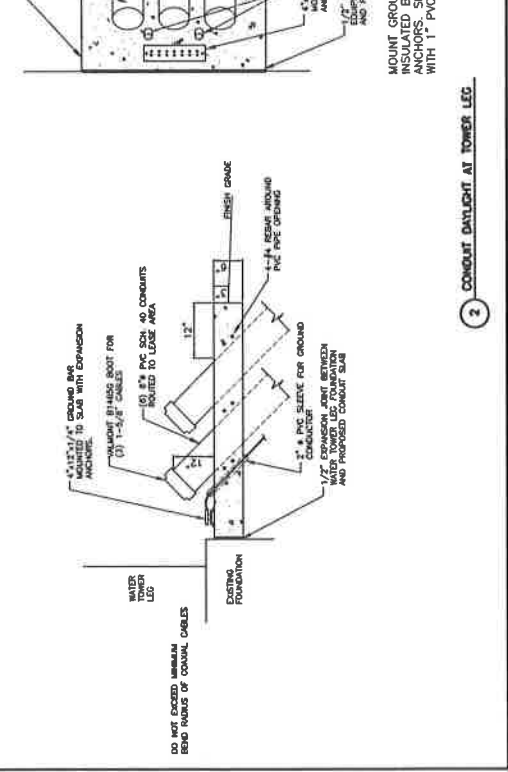
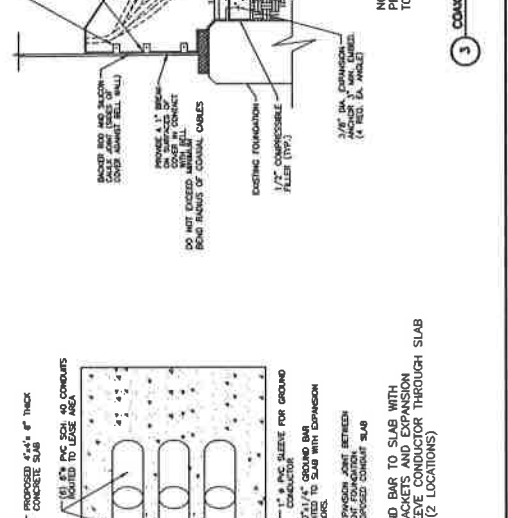
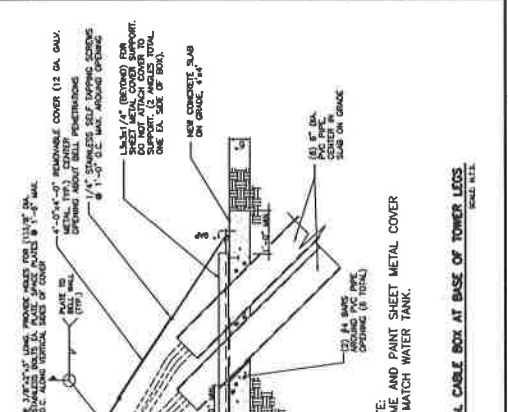
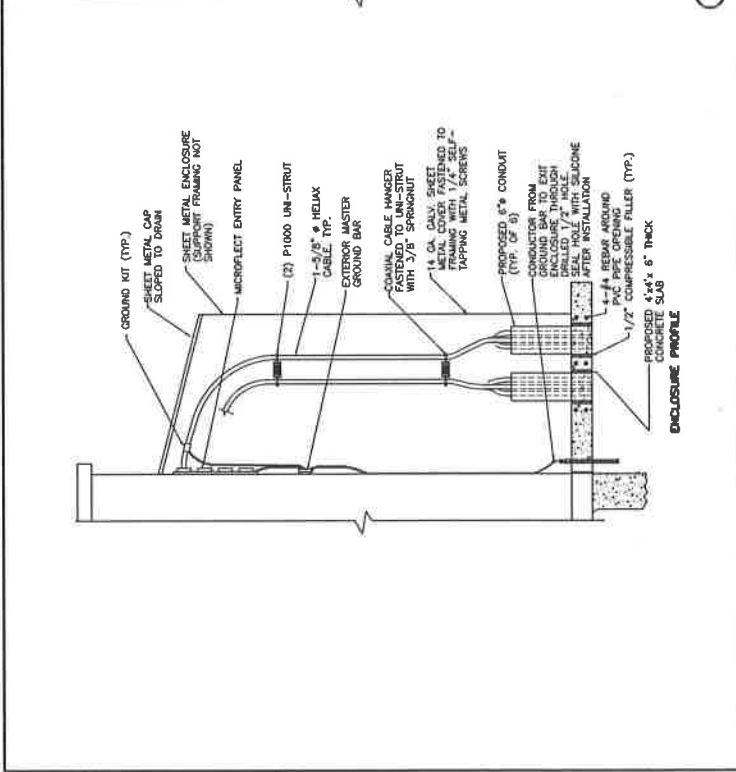
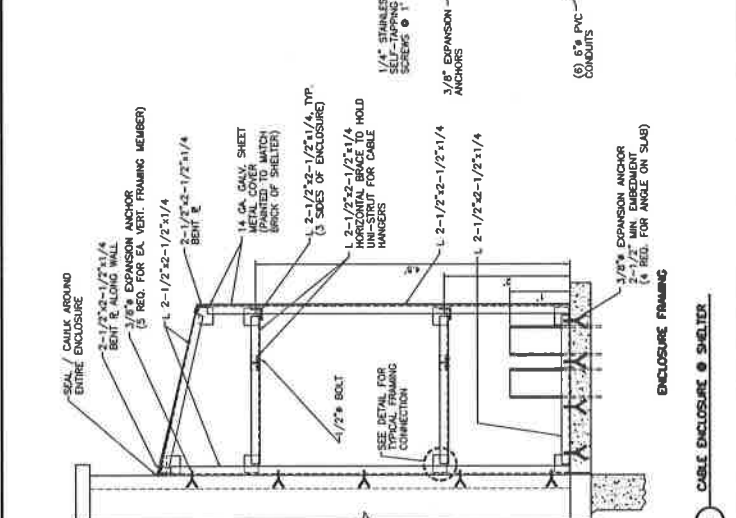
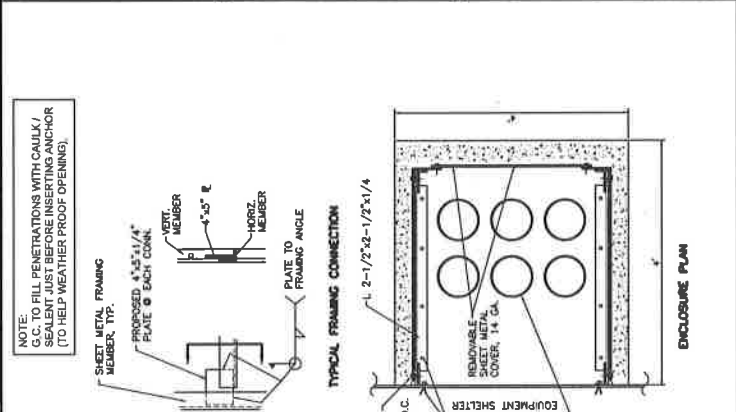
TERRA
 ENGINEERING ARCHITECTURE INTERIORS
 609 BUSSE HIGHWAY
 PARK RIDGE, IL 60068
 PH: 847-988-6600
 FAX: 847-988-6011

NO.	DATE	DESCRIPTION
1	10/27/14	ISSUED FOR REVIEW
2	11/17/14	ISSUED WITH REVISIONS
3	12/22/14	ISSUED FOR PERMITS
4	01/22/15	ISSUED FOR PERMITS
5	02/11/15	ISSUED FOR PERMITS
6	02/11/15	ISSUED FOR PERMITS
7	02/11/15	ISSUED FOR PERMITS
8	02/11/15	ISSUED FOR PERMITS
9	02/11/15	ISSUED FOR PERMITS
10	02/11/15	ISSUED FOR PERMITS

LOC. #269499
LISLE EAST
 4414 DOWNERS DRIVE
 DOWNERS GROVE, IL

DRAWN BY: LR
 TAZ
 CHECKED BY: 10/27/14
 DATE: 10/27/14
 PROJECT #: 33-1008

SHEET TITLE: SHEET METAL ENCLOSURE DETAILS
 SHEET NUMBER: ANT-4



NOTE: SHEET METAL FRAMING MEMBER, TYP.
 FRAMING MEMBER, 4\"/>

NOTE: PRIME AND PAINT SHEET METAL COVER TO MATCH WATER TANK.

NOTE: SEALANT TO BE APPLIED TO ALL PENETRATIONS WITH CAULK / G.C. TO FILL PENETRATIONS WITH CAULK / SEALANT JUST BEFORE INSERTING ANCHOR (TO HELP WEATHER PROOF OPENING).

NOTE: DO NOT EXCEED MINIMUM BOND THICKNESS OF CONDUIT SLAB.

NOTE: MOUNT GROUND BAR TO SLAB WITH INSULATED BRACKETS AND EXPANSION ANCHORS. SLEEVE CONDUCTOR THROUGH SLAB WITH 1\"/>

NOTE: DO NOT EXCEED MINIMUM BOND THICKNESS OF CONDUIT SLAB.

3 CONDUIT CABLE BOX AT BASE OF TOWER LEGS

2 CONDUIT DAYLIGHT AT TOWER LEG

CHICAGO SMSA
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 d/b/a VERIZON WIRELESS

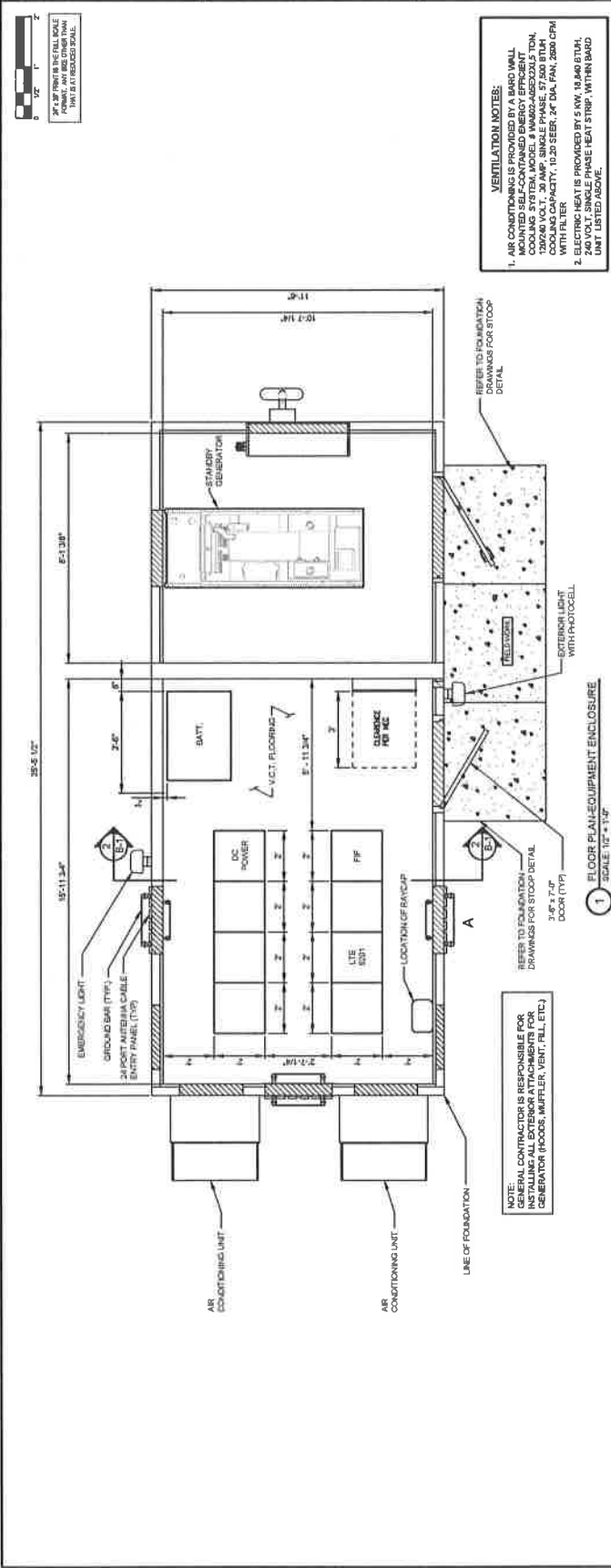
TERRA
 CONSULTING ENGINEERS, L.P.
 600 BUSSE HIGHWAY
 PARK RIDGE, IL 60068
 PH: 847-498-4400
 FAX: 847-498-4401

NO.	DATE	DESCRIPTION
1	10/27/14	ISSUED FOR REVIEW
2	10/27/14	UPDATE WITH NEW ELECTRICAL DETAILS
3	10/27/14	UPDATE PER WILLIAMS COMMENTS

LOC. #269499
LISLE EAST
 4414 DOWNERS DRIVE
 DOWNERS GROVE, IL

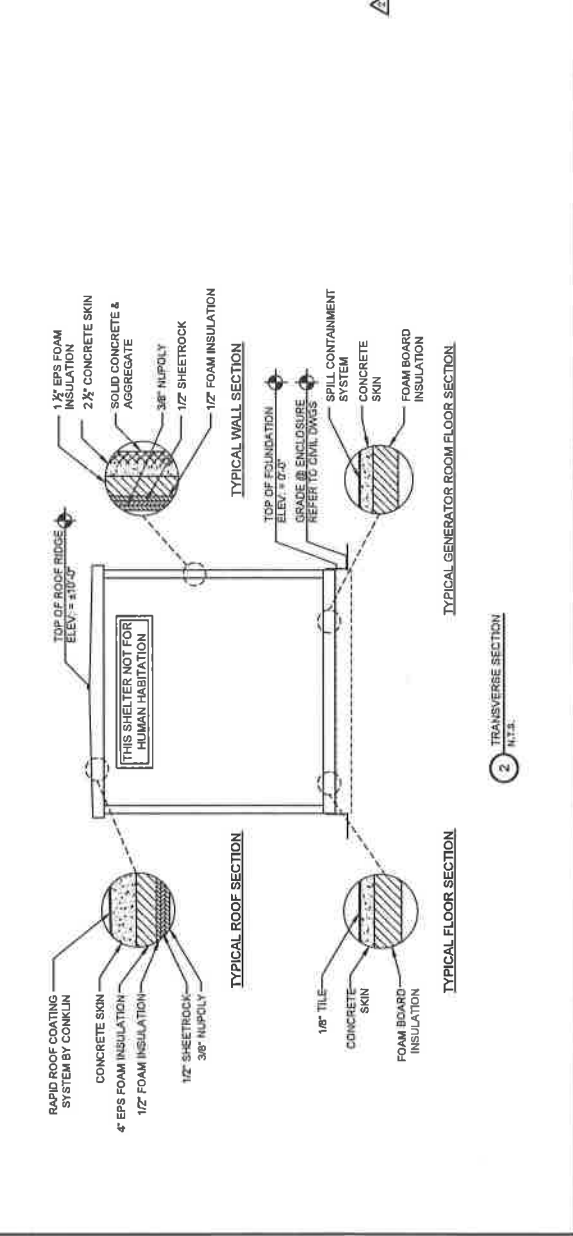
DRAWN BY: LS
 CHECKED BY: TAZ
 DATE: 10/27/14
 PROJECT #: 33-105

SHEET TITLE:
EQUIPMENT ENCLOSURE PLAN & SECTION
 SHEET NUMBER:
B-1



ROOM PURPOSE	AREA	VENTILATION		REMARKS
		NATURAL	MECHANICAL	
WIRELESS TELEPHONE EQUIPMENT ENCLOSURE (NON-HABITATED)	292.8 S.F.	0 CFM	2600 CFM	0 CFM

NOTES:
 1. EQUIPMENT ENCLOSURE IS PRE MANUFACTURED. THIS SHEET IS PROVIDED AS GUIDE ONLY. REFER TO ACTUAL DRAWINGS BY SHELTER MANUFACTURE FOR FULL BUILDING PLANS.
 2. EPS BOARD INSULATION IS LISTED TO HAVE A FLAME SPREAD OF 25 OR LESS AND SMOKE DEVELOPED OF 400 OR LESS WITH A MAXIMUM THICKNESS OF 1 1/2". ALL INSULATION SHALL BE TESTED TO A MAXIMUM THICKNESS OF 3 INCHES AT 15 PCF AND PAS AT 15 PCF SPREAD OF 25 AND A SMOKE PRODUCT OF 300.
 3. INTERIOR PANELS ARE LISTED TO HAVE A FLAME SPREAD OF 200 OR LESS AND SMOKE DEVELOPED OF 400 OR LESS WITH A MAXIMUM THICKNESS OF 1 1/2". ALL INTERIOR PANELS SHALL BE TESTED TO A MAXIMUM THICKNESS OF 3 INCHES AT 15 PCF AND PAS AT 15 PCF SPREAD OF 25 AND A SMOKE PRODUCT OF 300.
 4. THIS ENCLOSURE IS CLASSIFIED AS LIFE GROUP A, TYPE 5B CONSTRUCTION AND IS IN COMPLIANCE WITH THE 2008 INTERNATIONAL BUILDING CODE & 2008 INTERNATIONAL ELECTRICAL CODE & 2008 INTERNATIONAL MECHANICAL, ELECTRICAL & PLUMBING CODES.
 5. THIS SHEET IS PROVIDED AS A GUIDE ONLY. REFER TO ACTUAL DRAWINGS BY SHELTER MANUFACTURE FOR FULL BUILDING PLANS.
 6. F = 5000 PH @ 24 DAYS EQUIPMENT ENCLOSURE
 7. ENCLOSURE AND ASSOCIATED EQUIPMENT IS PROVIDED BY OWNER UNDER LICENSE TO SHELTER MANUFACTURE. ALL DIMENSIONS AND SPECIFICATIONS ARE TO MANUFACTURER'S AVAILABLE DATA. REFER TO O.M.A.'S STRUCTURAL AND ELECTRICAL DRAWINGS FOR WORK TO BE PERFORMED UNDER THE CONTRACT.
 8. PRIOR TO PROJECT CLOSE OUT AND SHELTER INSTALLATION, THE GENERAL CONTRACTOR IS TO CLEAN THE SHELTER FLOOR AND APPLY A STAIN-FREE WAX TO THE FLOOR.



CHICAGO SMA
limited partnership
d/b/a VERIZON WIRELESS

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ENGINEERING ARCHITECTURE
PARK RIDGE, IL 60068
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FAX: 847-698-6401

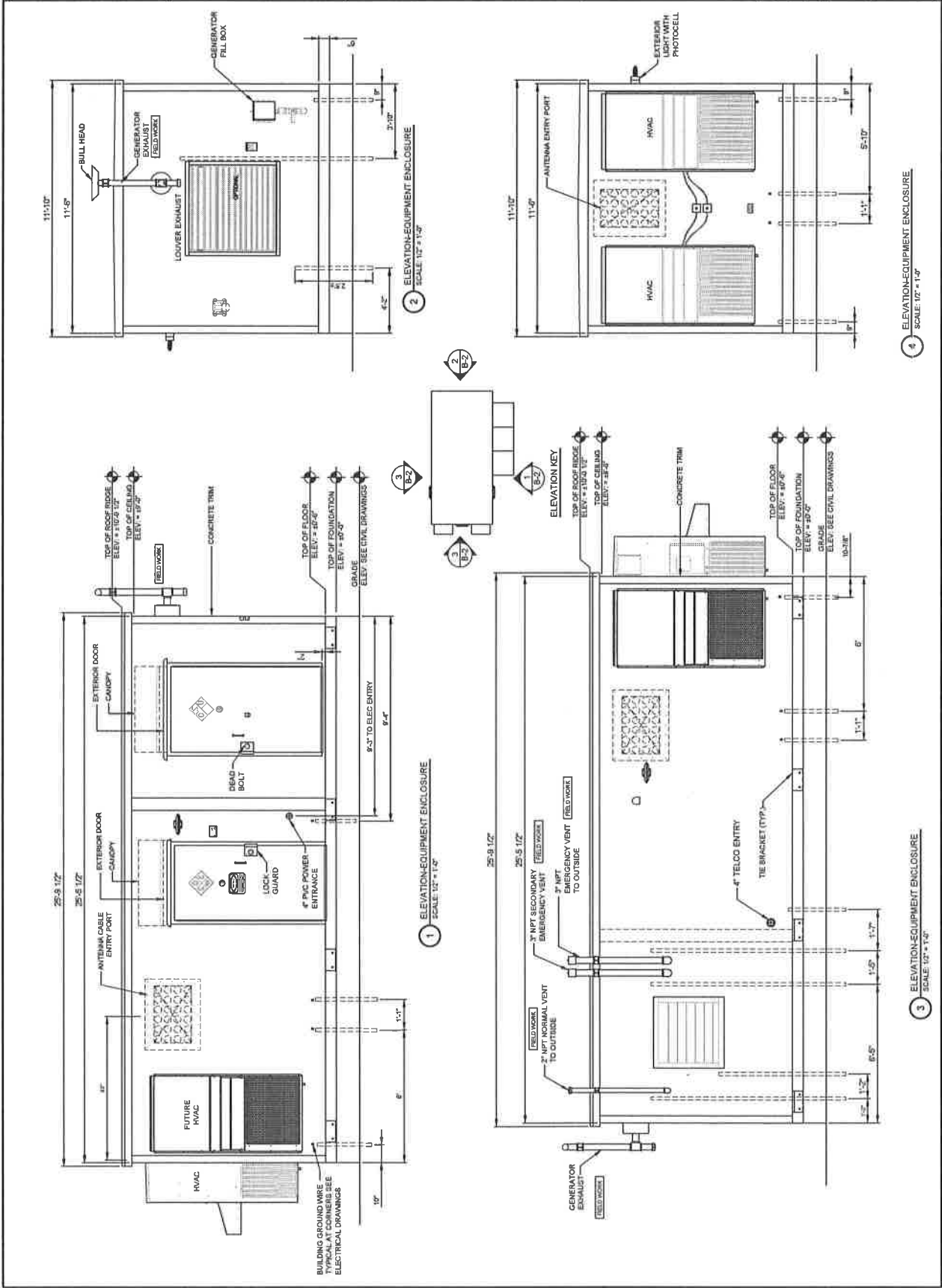
NO.	DATE	DESCRIPTION
1	11/17/14	ISSUED FOR REVIEW
2	12/10/14	UPDATE WITH NEW STRUCTURAL DETAILS
3	12/23/14	UPDATE PER VILLAGE COMMENTS

LOC. #269499
LISLE EAST
4414 DOWNERS DRIVE
DOWNERS GROVE, IL

DRAWN BY: LS
CHECKED BY: TAZ
DATE: 10/23/14
PROJECT #: 33-1306

SHEET TITLE
EQUIPMENT ENCLOSURE ELEVATIONS

SHEET NUMBER
B-2



REVISIONS

CHICAGO SMSA
limited partnership
d/b/a VERIZON WIRELESS

TERRA
600 BUSSE HIGHWAY
PARK RIDGE, IL 60068
PH: 847-489-4400
FAX: 847-489-4401

Table with 2 columns: NO., DESCRIPTION. Rows 1-2 detailing revisions.

LOC. #269499
LISLE EAST

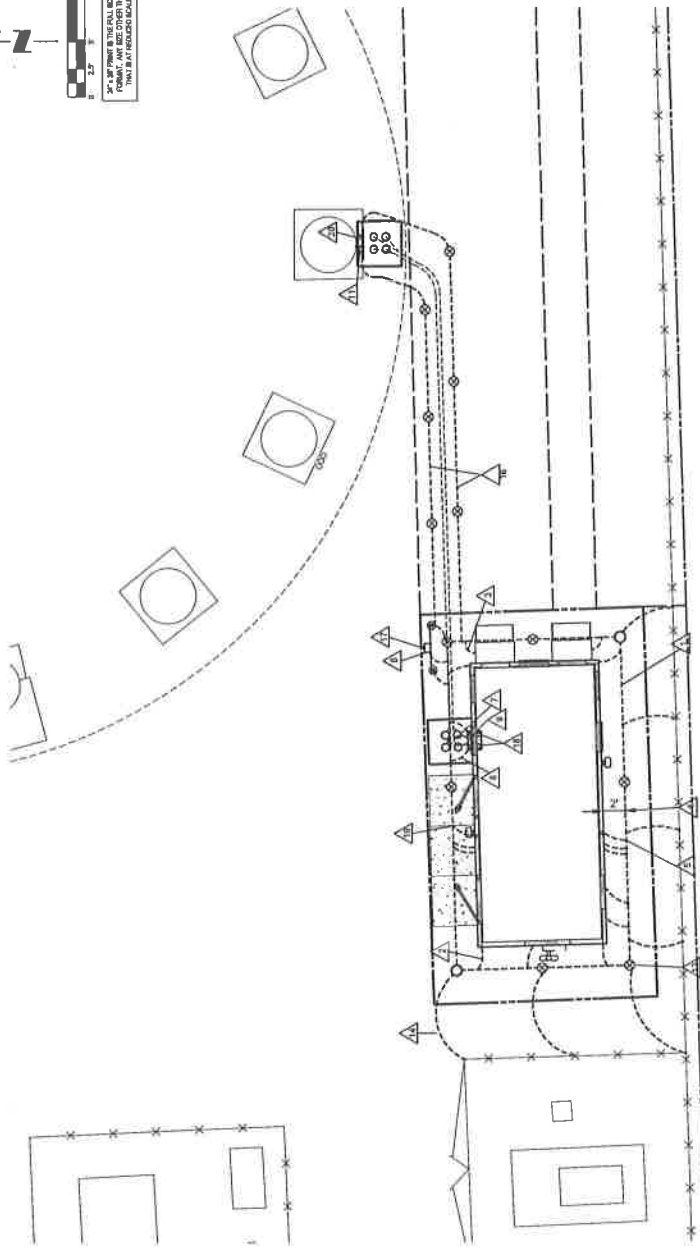
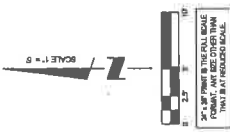
4414 DOWNERS DRIVE
DOWNERS GROVE, IL

Table with 2 columns: DRAWN BY, CHECKED BY, DATE, PROJECT #.

SHEET TITLE
GROUNDING PLAN

SHEET NUMBER
E-2

NOTE:
SEE GROUNDING DETAILS
ON SHEETS E-3 & E-4



1 SITE GROUNDING PLAN
SCALE 1" = 8'

- 1. ALL GROUNDING CONNECTIONS SHALL BE MADE BY THE EXOTHERMIC PROCEDURE...
2. ALL ELECTRICAL & MECHANICAL GROUND CONNECTIONS SHALL HAVE AN ANTICORROSION COMPOUND APPLIED TO CONNECTION...

LEGEND table with 2 columns: SYMBOL, DESCRIPTION. Lists various grounding symbols and their meanings.

- 4. FENCE LINE: GROUND FENCE PORTS WITH 1/4" DIAMETER AND 25 FEET OF TOWER IS INDICATED...
5. CONTRACTOR SHALL SUBMIT THE SPECIAL RESISTANCE TEST REPORT AS FOLLOWS...

TYPICAL KEYED GROUNDING NOTES

- 1. 2" DIA. (1) COPY TO OWNER REPRESENTATIVE
2. 2" DIA. (1) COPY TO REFER INSIDE EQUIPMENT ENCLOSURE
3. MAINTAIN TWO FOOT DISTANCE OFF OF STRUCTURES.
4. GROUND TELEPHONE SERVICE ENTRANCE (SEE DETAIL SHEET E-3).



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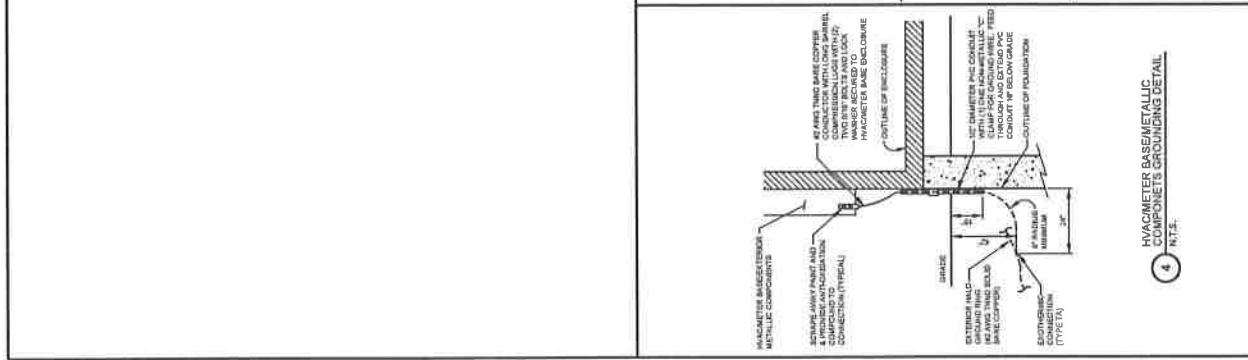
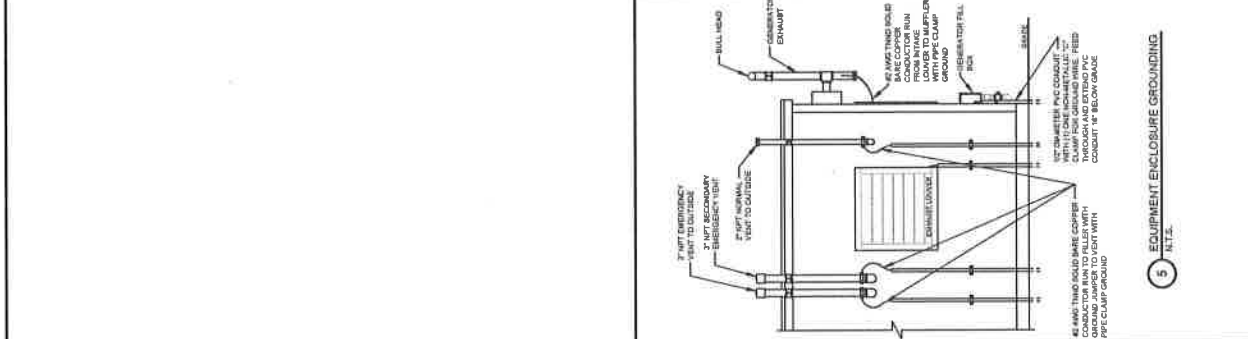
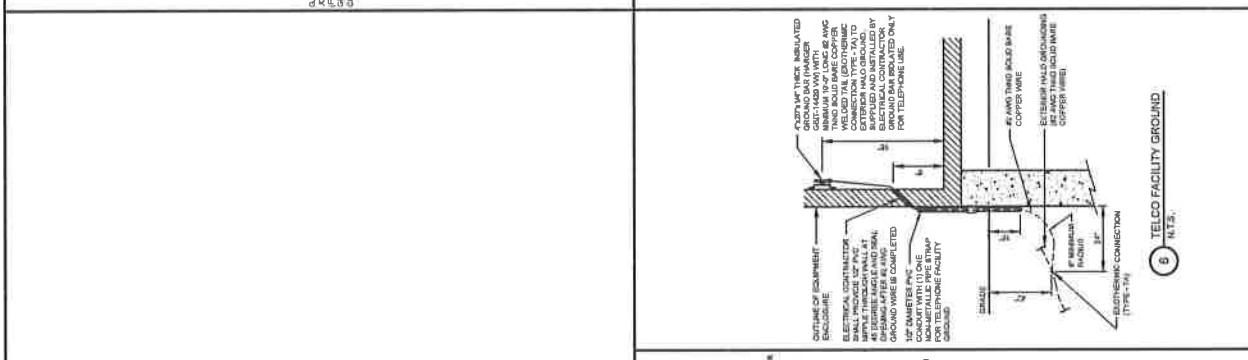
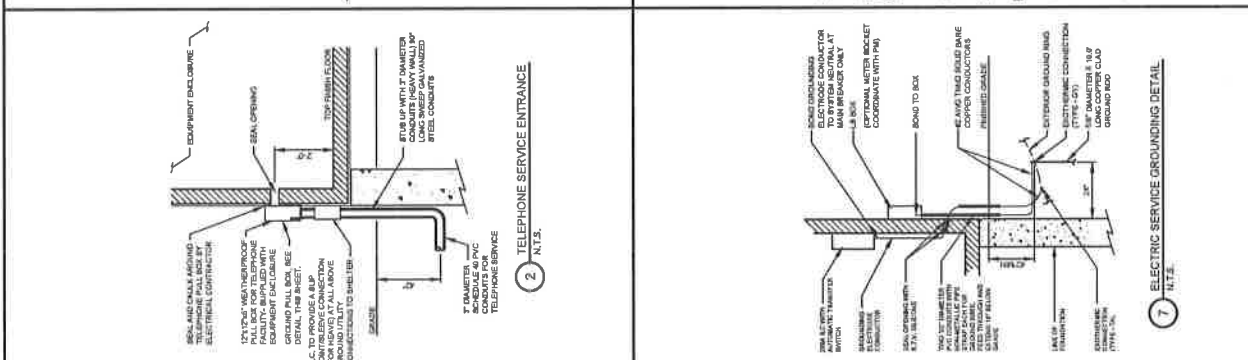
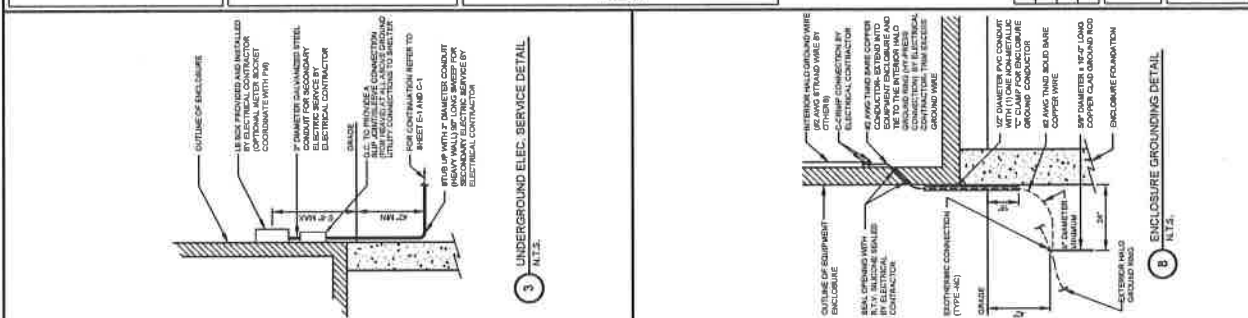
TERRA
ENGINEERING ARCHITECTURAL
606 BUSSE HIGHWAY
PARK RIDGE, IL 60068
PH: 847-499-0401
FAX: 847-499-0401

NO.	DATE	DESCRIPTION
1	1/17/14	UPDATES PER VILLAGE COMMENTS
2	1/17/14	UPDATES PER VILLAGE COMMENTS
3	1/22/14	UPDATES PER VILLAGE COMMENTS

LOC. #269499
LISLE EAST
4114 DOWNERS DRIVE
DOWNERS GROVE, IL

PROJECT # 33-1196
DATE 10/23
TAX
LS
DRAWN BY

SHEET TITLE
ELECTRICAL AND GROUNDING DETAILS
SHEET NUMBER
E-3



NO.	DATE	DESCRIPTION
1	1/17/14	UPDATES PER VILLAGE COMMENTS
2	1/17/14	UPDATES PER VILLAGE COMMENTS
3	1/22/14	UPDATES PER VILLAGE COMMENTS

CHICAGO SMA
limited partnership
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600 BUSSE HIGHWAY
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FAX: 847-498-6401

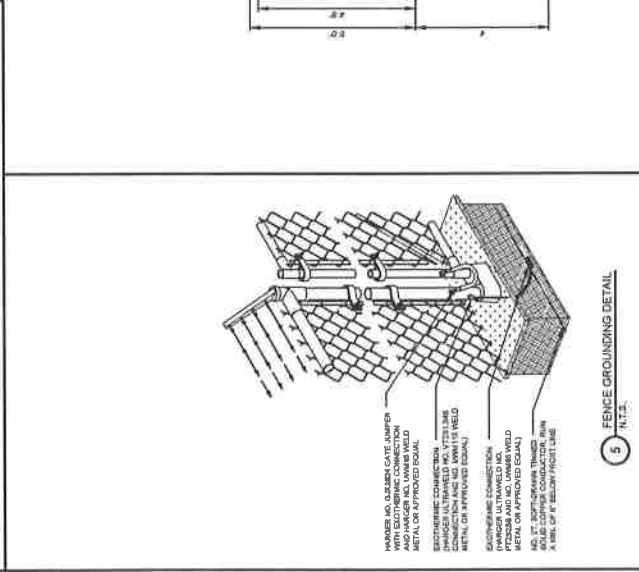
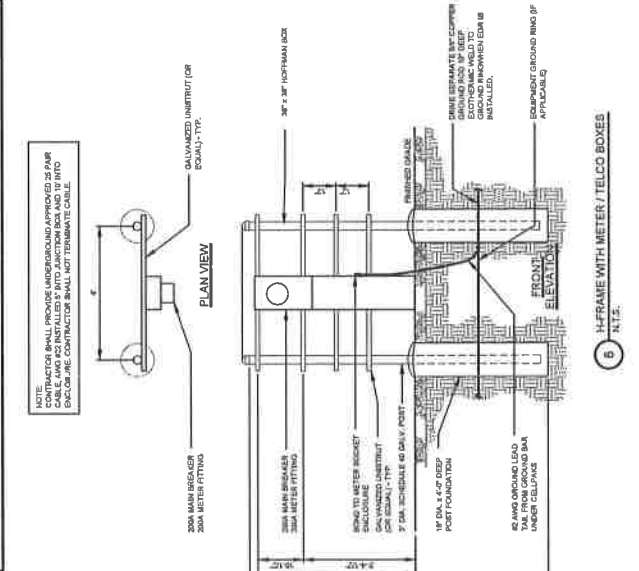
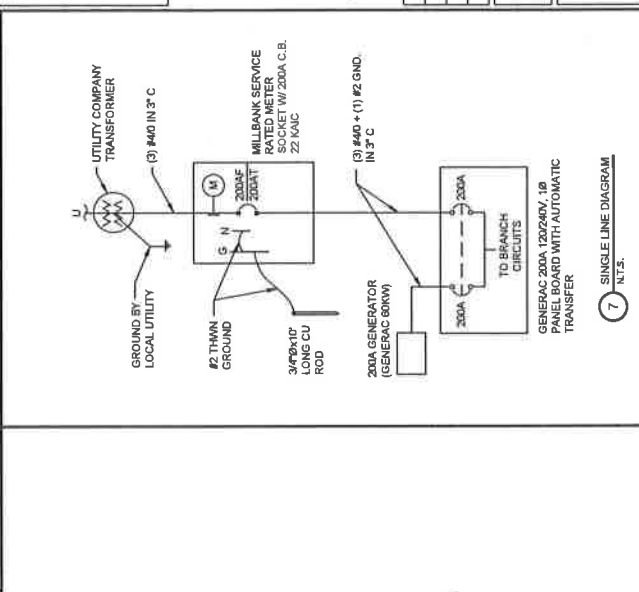
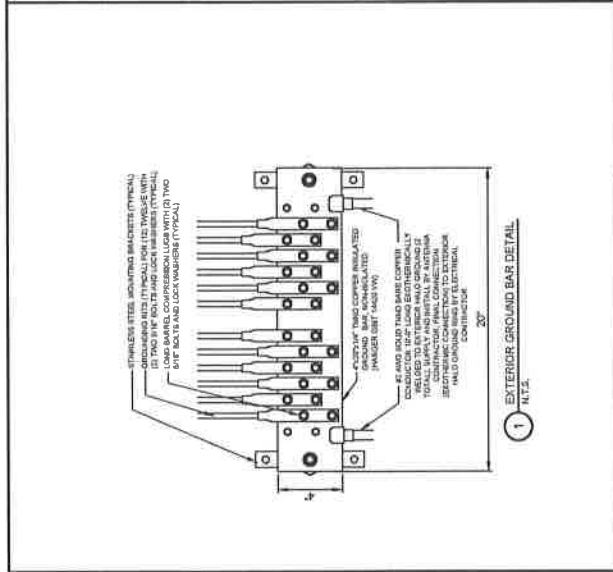
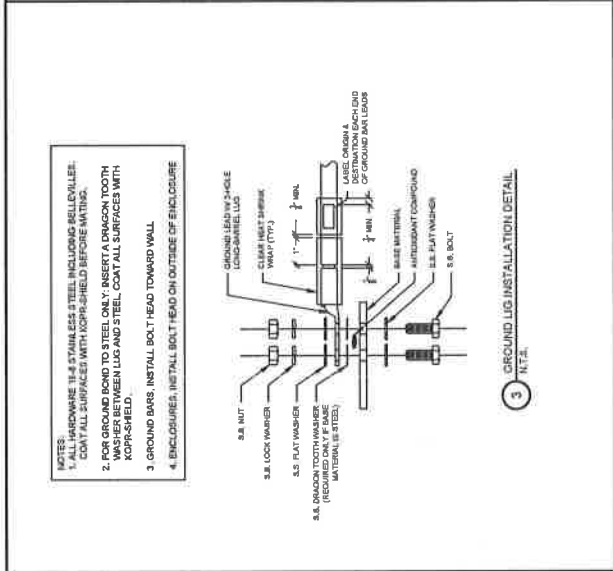
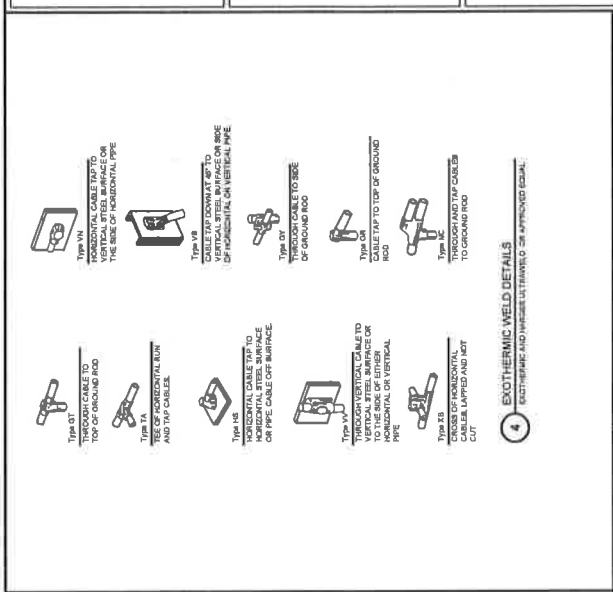
NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR REVIEW	11/11/14	TAL
2	UPDATE WITH NEIGHBORHOOD DETAILS	11/03/14	TAL
3	UPDATE PER VILLAGE COMMENTS	1/22/15	TAL

LOC. #269499
LISLE EAST
4414 DOWNERS DRIVE
DOWNERS GROVE, IL

DRAWN BY:	LR
CHECKED BY:	TAZ
DATE:	10/27/14
PROJECT #:	33-1106

SHEET TITLE
ELECTRICAL AND GROUNDING DETAILS

SHEET NUMBER
E-4



CHICAGO SMA limited partnership
 600 BUSSE HIGHWAY
 PARK RIDGE, IL 60068
 FAX: 847-688-4401

TERRA
 1000 W. WASHINGTON ST.
 CHICAGO, IL 60607

LOC. #269499
 LISLE EAST
 4414 DOWNERS DRIVE
 DOWNERS GROVE, IL

DATE: 10/27/13
 PROJECT # 33-1304
 SHEET TITLE: CONCRETE
 SHEET NUMBER: SP-1

NO.	DATE	DESCRIPTION
1	10/27/13	ISSUED FOR PERMITS
2	10/27/13	UPDATE WITH NEW TECHNICAL DETAILS
3	10/27/13	UPDATE WITH VILLAGE COMMENTS

SECTION 03000 - REINFORCING STEEL, BARS AND STRAP

PART 1 - GENERAL

1. SUMMARY

- A. SECTION INCLUDES: REINFORCING STEEL, BARS AND STRAP
- B. RELATED SECTIONS: FORMWORK, CONCRETE, REINFORCING STEEL, BARS AND STRAP

2. REFERENCES

- A. ACI 308R-10, CONCRETE REINFORCING STEEL AND TIES
- B. ACI 309-10, CONCRETE PUMPING PLACEMENT
- C. ACI 311M-10, CONCRETE REINFORCEMENT DETAILS
- D. ACI 315-10, CONCRETE REINFORCEMENT DETAILS
- E. ACI 318-11, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
- F. ACI 322R-10, CONCRETE REINFORCEMENT DETAILS
- G. ACI 324R-10, CONCRETE REINFORCEMENT DETAILS
- H. ACI 325R-10, CONCRETE REINFORCEMENT DETAILS
- I. ACI 327R-10, CONCRETE REINFORCEMENT DETAILS
- J. ACI 328R-10, CONCRETE REINFORCEMENT DETAILS
- K. ACI 329R-10, CONCRETE REINFORCEMENT DETAILS
- L. ACI 330R-10, CONCRETE REINFORCEMENT DETAILS
- M. ACI 332R-10, CONCRETE REINFORCEMENT DETAILS
- N. ACI 333R-10, CONCRETE REINFORCEMENT DETAILS
- O. ACI 334R-10, CONCRETE REINFORCEMENT DETAILS
- P. ACI 335R-10, CONCRETE REINFORCEMENT DETAILS
- Q. ACI 336R-10, CONCRETE REINFORCEMENT DETAILS
- R. ACI 337R-10, CONCRETE REINFORCEMENT DETAILS
- S. ACI 338R-10, CONCRETE REINFORCEMENT DETAILS
- T. ACI 339R-10, CONCRETE REINFORCEMENT DETAILS
- U. ACI 340R-10, CONCRETE REINFORCEMENT DETAILS
- V. ACI 341R-10, CONCRETE REINFORCEMENT DETAILS
- W. ACI 342R-10, CONCRETE REINFORCEMENT DETAILS
- X. ACI 343R-10, CONCRETE REINFORCEMENT DETAILS
- Y. ACI 344R-10, CONCRETE REINFORCEMENT DETAILS
- Z. ACI 345R-10, CONCRETE REINFORCEMENT DETAILS

PART 2 - EXECUTION

1. PREPARATION

- A. FORMWORK SHALL BE CLEAN, FREE OF OIL, GREASE, AND OTHER CONTAMINANTS.
- B. FORMWORK SHALL BE STRENGTHED TO SUPPORT THE WEIGHT OF THE CONCRETE AND THE WEIGHT OF THE REINFORCING STEEL.
- C. FORMWORK SHALL BE PROTECTED FROM DAMAGE BY THE REINFORCING STEEL.
- D. FORMWORK SHALL BE PROTECTED FROM DAMAGE BY THE CONCRETE.
- E. FORMWORK SHALL BE PROTECTED FROM DAMAGE BY THE REINFORCING STEEL.
- F. FORMWORK SHALL BE PROTECTED FROM DAMAGE BY THE CONCRETE.
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- W. FORMWORK SHALL BE PROTECTED FROM DAMAGE BY THE REINFORCING STEEL.
- X. FORMWORK SHALL BE PROTECTED FROM DAMAGE BY THE CONCRETE.
- Y. FORMWORK SHALL BE PROTECTED FROM DAMAGE BY THE REINFORCING STEEL.
- Z. FORMWORK SHALL BE PROTECTED FROM DAMAGE BY THE CONCRETE.

PART 3 - QUALITY ASSURANCE

1. MATERIALS

- A. REINFORCING STEEL SHALL BE SUPPLIED BY A QUALIFIED SUPPLIER.
- B. REINFORCING STEEL SHALL BE TESTED IN ACCORDANCE WITH ASTM A631.
- C. REINFORCING STEEL SHALL BE TESTED IN ACCORDANCE WITH ASTM A631.
- D. REINFORCING STEEL SHALL BE TESTED IN ACCORDANCE WITH ASTM A631.
- E. REINFORCING STEEL SHALL BE TESTED IN ACCORDANCE WITH ASTM A631.
- F. REINFORCING STEEL SHALL BE TESTED IN ACCORDANCE WITH ASTM A631.
- G. REINFORCING STEEL SHALL BE TESTED IN ACCORDANCE WITH ASTM A631.
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- V. REINFORCING STEEL SHALL BE TESTED IN ACCORDANCE WITH ASTM A631.
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- X. REINFORCING STEEL SHALL BE TESTED IN ACCORDANCE WITH ASTM A631.
- Y. REINFORCING STEEL SHALL BE TESTED IN ACCORDANCE WITH ASTM A631.
- Z. REINFORCING STEEL SHALL BE TESTED IN ACCORDANCE WITH ASTM A631.

SECTION 03000 - REINFORCING STEEL, BARS AND STRAP

PART 1 - GENERAL

1. SUMMARY

- A. SECTION INCLUDES: REINFORCING STEEL, BARS AND STRAP
- B. RELATED SECTIONS: FORMWORK, CONCRETE, REINFORCING STEEL, BARS AND STRAP

2. REFERENCES

- A. ACI 308R-10, CONCRETE REINFORCING STEEL AND TIES
- B. ACI 309-10, CONCRETE PUMPING PLACEMENT
- C. ACI 311M-10, CONCRETE REINFORCEMENT DETAILS
- D. ACI 315-10, CONCRETE REINFORCEMENT DETAILS
- E. ACI 318-11, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
- F. ACI 322R-10, CONCRETE REINFORCEMENT DETAILS
- G. ACI 324R-10, CONCRETE REINFORCEMENT DETAILS
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- Y. ACI 344R-10, CONCRETE REINFORCEMENT DETAILS
- Z. ACI 345R-10, CONCRETE REINFORCEMENT DETAILS

PART 2 - EXECUTION

1. PREPARATION

- A. FORMWORK SHALL BE CLEAN, FREE OF OIL, GREASE, AND OTHER CONTAMINANTS.
- B. FORMWORK SHALL BE STRENGTHED TO SUPPORT THE WEIGHT OF THE CONCRETE AND THE WEIGHT OF THE REINFORCING STEEL.
- C. FORMWORK SHALL BE PROTECTED FROM DAMAGE BY THE REINFORCING STEEL.
- D. FORMWORK SHALL BE PROTECTED FROM DAMAGE BY THE CONCRETE.
- E. FORMWORK SHALL BE PROTECTED FROM DAMAGE BY THE REINFORCING STEEL.
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- Y. FORMWORK SHALL BE PROTECTED FROM DAMAGE BY THE REINFORCING STEEL.
- Z. FORMWORK SHALL BE PROTECTED FROM DAMAGE BY THE CONCRETE.

Prepared by and upon recording
Please return to:

Ginsberg Jacobs LLC
300 South Wacker Drive
Suite 2450
Chicago, Illinois 60606
Attn: Steven F. Ginsberg, Esq.
(Site Name: Lisle East)
Tax Parcel No.: 09-06-307-011

MEMORANDUM OF LICENSE AGREEMENT

This Memorandum of License Agreement is made this ____ day of _____, 2014, between Village of Downers Grove, with a mailing address of 801 Burlington Avenue, Downers Grove, Illinois 60515-4776, hereinafter collectively referred to as "LICENSOR", and Chicago SMSA Limited Partnership d/b/a Verizon Wireless, with its principal office located at One Verizon Way, Mailstop 4AW100, Basking Ridge, New Jersey 07920, hereinafter referred to as "LICENSEE". LICENSOR and LICENSEE are at times collectively referred to hereinafter as the "Parties" or individually as the "Party".

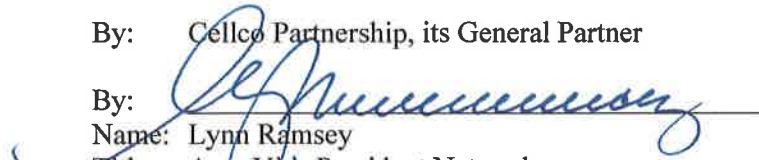
1. LICENSOR and LICENSEE entered into a License Agreement (the "Agreement") on _____, 2014 for an Initial Term beginning upon the first day of the month in which a building permit is issued, but in no event later than March 1, 2015 ("Commencement Date"). In the event that the Commencement Date begins on January 1, 2015, then the Initial Term shall end on the fifth anniversary of said Commencement Date. In the event that the Commencement Date is a date that does not fall on January 1, 2015, an "In Year Commencement Date", and in order to establish an annual term commensurate with a calendar year, then the initial term would commence on the In Year Commencement Date and end on December 31st of the same year. Thereafter, as part and parcel of the Initial Term, four additional one (1) year periods shall automatically commence each January 1st and extend through December 31st of the same year. Thereafter, the term shall be automatically extended for one (1) five-year Extension Term ("First Extension") unless LICENSEE provides the Village with written notice of its election not to renew the Agreement at least one hundred and twenty (120) days prior to the expiration of the Initial Term. Upon the expiration of the First Extension, the Agreement shall be extended for one (1) five-year additional extension term ("Second Extension") unless either party provides the other with written notice of its election not to renew the License at least one hundred and twenty (120) days prior to the expiration of the current term.
2. LICENSOR hereby licenses to LICENSEE a portion of that certain space on and within LICENSOR's Tower located at 4414 Downers Drive, Downers Grove, Illinois 60615 as shown on the Tax Map of the DuPage County Recorder of Deeds as Tax Parcel No. 09-06-307-011 and being part of that real property further DuPage County Recorder of Deeds, as described in Exhibit A attached hereto and made a part hereof, and as shown on the plat of survey attached hereto and incorporated herein as Exhibit B.

IN WITNESS WHEREOF, hereunto and to a duplicate hereof, LICENSOR and LICENSEE have caused this Memorandum to be duly executed on the date first written hereinabove.

LICENSEE:

Chicago SMSA Limited Partnership, d/b/a
Verizon Wireless

By: Cellco Partnership, its General Partner

By: 
Name: Lynn Ramsey
Title: Area Vice President Network
Date: 11/27/15

**VILLAGE:
VILLAGE OF DOWNERS GROVE**

By: _____
David Fieldman, Village Manager

ATTEST:

April Holden, Village Clerk

STATE OF ILLINOIS)
)
COUNTY OF _____)

I, _____, a Notary Public for said County and State, do hereby certify that David Fieldman, personally came before me this day and acknowledged that he is the Village Manager of the Village of Downers Grove, a municipal corporation, and he, being authorized to do so, executed the foregoing Memorandum of License Agreement as his own act and deed on behalf of the Village of Downers Grove.

WITNESS my hand and official Notarial Seal, this ___ day of _____, 2015.

Notary Public

My Commission Expires:

State of Illinois)
) ss.
County of Cook)

On Jan. 27, 2015, before me, Ann Goldstein, notary public, personally appeared Lynn Ramsey, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her authorized capacity, and that by her signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

WITNESS my hand and official seal.

Signature *Ann Goldstein* (Seal)

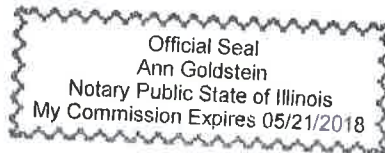


EXHIBIT A

**WRITTEN METES AND BOUNDS OF THE PREMISES
AND INGRESS/EGRESS AND UTILITY EASEMENT**

PARENT TRACT:

LOT 2 (EXCEPT THE NORTH 130.6 FEET THEREOF AND ALSO EXCEPT THE SOUTH 50 FEET OF THE NORTH 180.6 FEET OF THE EAST 200 FEET OF SAID LOT 2) IN FREIBERT ' S RESUBDIVISION OF LOTS 8, 9 AND 10 IN MYRON H. WILCOX OGDEN AVENUE ADDITION TO DOWNERS GROVE, A SUBDIVISION OF LOTS 1 AND 10 IN BRANIGAR BROS. OGDEN AVENUE FARMS, BEING A SUBDIVISION IN THE SOUTHWEST 1/4 OF SECTION 6, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 2, 1958 AS DOCUMENT 904779, IN DUPAGE COUNTY, ILLINOIS.

PROPOSED LEASE AREA LEGAL DESCRIPTION:

A PARCEL OF LAND FOR LEASE AREA PURPOSES, BEING A PART OF LOT 2 IN FREIBERT ' S RESUBDIVISION OF LOTS 8, 9 AND 10 IN MYRON H. WILCOX OGDEN AVENUE ADDITION TO DOWNERS GROVE, A SUBDIVISION OF LOTS 1 AND 10 IN BRANIGAR BROS. OGDEN AVENUE FARMS, BEING A SUBDIVISION IN THE SOUTHWEST 1/4 OF SECTION 6, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 2, 1958 AS DOCUMENT 904779, IN DUPAGE COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID LOT 2, THENCE NORTH 88° 25' 35" EAST ALONG THE SOUTH LINE OF SAID LOT 2, A DISTANCE OF 61.24 FEET; THENCE NORTH 01° 34' 25" WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 3.61 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 88° 25' 35" WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 35.00 FEET; THENCE NORTH 01° 34' 25" WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 20.00 FEET; THENCE NORTH 88° 25' 35" EAST, 35.00 FEET; THENCE SOUTH 01° 34' 25" EAST, 20.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 700.0 SQUARE FEET.

PROPOSED ACCESS AND UTILITY EASEMENT LEGAL DESCRIPTION:

A PARCEL OF LAND FOR ACCESS AND UTILITY EASEMENT PURPOSES, BEING A PART OF LOT 2 IN FREIBERT ' S RESUBDIVISION OF LOTS 8, 9 AND 10 IN MYRON H. WILCOX OGDEN AVENUE ADDITION TO DOWNERS GROVE, A SUBDIVISION OF LOTS 1 AND 10 IN BRANIGAR BROS. OGDEN AVENUE FARMS, BEING A SUBDIVISION IN THE SOUTHWEST 1/4 OF SECTION 6, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 2, 1958 AS DOCUMENT 904779, IN DUPAGE COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID LOT 2, THENCE NORTH 88° 25' 35" EAST ALONG THE SOUTH LINE OF SAID LOT 2, A DISTANCE OF 61.24 FEET; THENCE NORTH 01° 34' 25" WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 3.61 FEET; THENCE SOUTH 88° 25' 35" WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 35.00 FEET; THENCE NORTH 01° 34' 25" WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 20.00 FEET; THENCE NORTH 88° 25' 35" EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 35.00 FEET FOR A POINT OF BEGINNING; THENCE NORTH 88° 25' 35" EAST, 67.00 FEET; THENCE NORTH 45° 17' 26" EAST, 75.68 FEET TO A POINT OF CURVE; THENCE SOUTHEASTERLY 47.25 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 121.50 FEET WITH A CHORD WHICH BEARS SOUTH 79° 48' 33" EAST, 46.95 FEET; THENCE SOUTH 67° 30' 27" EAST, 40.02 FEET TO A POINT OF CURVE; THENCE SOUTHEASTERLY 39.64 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 110.50 FEET WITH A CHORD WHICH BEARS SOUTH 77° 14' 59" EAST, 39.43 FEET; THENCE NORTH 88° 14' 19" EAST, 59.79 FEET TO THE EAST LINE OF SAID LOT 2; THENCE SOUTH 03° 02' 53" EAST ALONG SAID LINE, 12.00 FEET; THENCE SOUTH 88° 14' 19" WEST, 60.49 FEET TO A POINT OF CURVE; THENCE NORTHWESTERLY 44.34 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 122.50 FEET WITH A CHORD WHICH BEARS NORTH 77° 22' 11" WEST, 44.10 FEET; THENCE NORTH 67° 30' 27" WEST, 39.84 FEET TO A POINT OF CURVE; THENCE NORTHWESTERLY 37.75 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 109.50 FEET WITH A CHORD WHICH BEARS NORTH 78° 36' 24" WEST, 37.56 FEET; THENCE SOUTH 45° 17' 26" WEST, 75.46 FEET; THENCE SOUTH 88° 25' 35" WEST, 71.74 FEET; THENCE NORTH 01° 34' 25" WEST, 12.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 3,954.2 SQUARE FEET.

EXHIBIT B

**BOUNDARY SURVEY OF THE PREMISES
AND INGRESS/EGRESS AND UTILITY EASEMENT**

SEE ATTACHED

